

GENERAL NOTES

- TOTAL MILES OF NEW PUBLIC STREETS IS 0.99 MILES.
- THE WATER COMPANY THAT WILL SERVE THIS SUBDIVISION IS AVRA WATER CO-OP, INC.
- SEWAGE DISPOSAL FOR ALL LOTS WILL BE ON-SITE SEWAGE DISPOSAL SYSTEMS.
- ON-SITE SEWAGE DISPOSAL SYSTEMS FOR ALL LOTS MUST BE DESIGNED ON AN INDIVIDUAL BASIS BY AN ENGINEER REGISTERED IN THE STATE OF ARIZONA. LOTS 14, 17, 26, 35, 39-43, 42, 44 AND 45 MAY REQUIRE ALTERNATIVE ON-SITE SEWAGE DISPOSAL SYSTEMS.
- ALL WEATHER ACCESS WILL BE PROVIDED TO ALL LOTS WITHIN THIS SUBDIVISION.
- THE GROSS AREA OF THE SUBDIVISION 72.80 ACRES.
- ASSESSORS TAX PARCEL # 213-18-031A & 213-01-142B.
- EXISTING ZONING IS GR-1.
- PARKING CALCULATIONS (PER CHAPTER 18.75, OFF STREET PARKING AND LOADING STANDARDS):
 PARKING REQUIRED:
 RESIDENTIAL PARKING (2.5 SPACES PER UNIT)=120 SPACES
 VISITOR PARKING (1 SPACE FOR 4 UNITS)= 12 SPACES
 TOTAL REQUIRED SPACES= 132 SPACES
 PARKING PROVIDED:
 RESIDENTIAL GARAGE (2 SPACES X 48 UNITS)=96 SPACES
 DRIVE (2 SPACES X 48 UNITS)= 96 SPACES
 TOTAL PARKING PROVIDED= 192 SPACES
- RUDASILL ROAD AND TULA LANE ARE THE NEAREST PAVED ACCESS MAINTAINED BY PIMA COUNTY WHICH SERVES THIS SUBDIVISION. THEY ARE ADJACENT TO THIS SUBDIVISION.
- GROSS DENSITY IS 0.89 AC.
- MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES SHALL BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED 30 INCHES AND 72 INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
- THE AVERAGE GROUND SLOPE FOR THIS PROJECT IS 0.88%
 226.591 ± 1 X .0002 = 0.88%
 75.44 AC
- TOTAL AMOUNT OF RIPARIAN HABITAT ON SITE .816 ACRES.
- AMOUNT OF HABITAT DISTURBED ON-SITE (BY INFRASTRUCTURE) 0.17 ACRES.
- AMOUNT OF HABITAT DISTURBED ON-SITE DOES NOT REQUIRE A RH MITIGATION PLAN.
- THIS SUBDIVISION IS SUBJECT TO SECTION 18.67.050 BUFFER OVERLAY ZONE.
- LOTS 28 AND 29 ARE SUBJECT TO SECTION 18.70.040 GATEWAY OVERLAY ZONE AND WILL REQUIRE DRC APPROVAL FOR CONFORMANCE WITH SECTION 18.70.020 ARCHITECTURAL COLOR STANDARDS IF DEVELOPMENT OCCURS WITHIN THE GATEWAY OVERLAY ZONE AS SHOWN ON THIS PLAN.
- THIS PROJECT IS SUBJECT TO THE HILLSIDE DEVELOPMENT OVERLAY ZONE.
- RPD REVIEW AND APPROVAL REQUIRED PRIOR TO ISSUANCE OF ANY PERMITS FOR LOTS #1-23 & 29-35.

NATURAL OPEN SPACE (NOS) CALCULATIONS

SITE AREA	REQUIRED NOS % OF DEVELOPED AREA	NOS AREA DEVELOPED	REQUIRED NOS AREA	PROVIDED NOS % OF DEVELOPED AREA	PROVIDED NOS AREA
72.80 ACRES	30%	21.84 ACRES	21.84 ACRES	31.11%	11.11%

BASIS OF BEARINGS

THE BASIS OF BEARING FOR THIS PROJECT IS BETWEEN THE FOUND MONUMENTS AT THE NORTH QUARTER CORNER AND THE NORTHEAST CORNER OF SECTION 12. SAID BEARING IS N89°32'36"E PER RESULTS OF SURVEY RECORDED IN BOOK 17 OF RECORD OF SURVEYS AT PAGE 43, PIMA COUNTY RECORDERS'S OFFICE.

BASIS OF ELEVATION

THE BASIS OF ELEVATION FOR THIS PROJECT IS THE NORTH QUARTER CORNER SECTION 12, MARKED BY A 1.5" ALUMINUM CAP STAMPED "5/8" PLS 7399" SAID ELEVATION BEING 2428.37 NAVD 83.

DEVELOPER

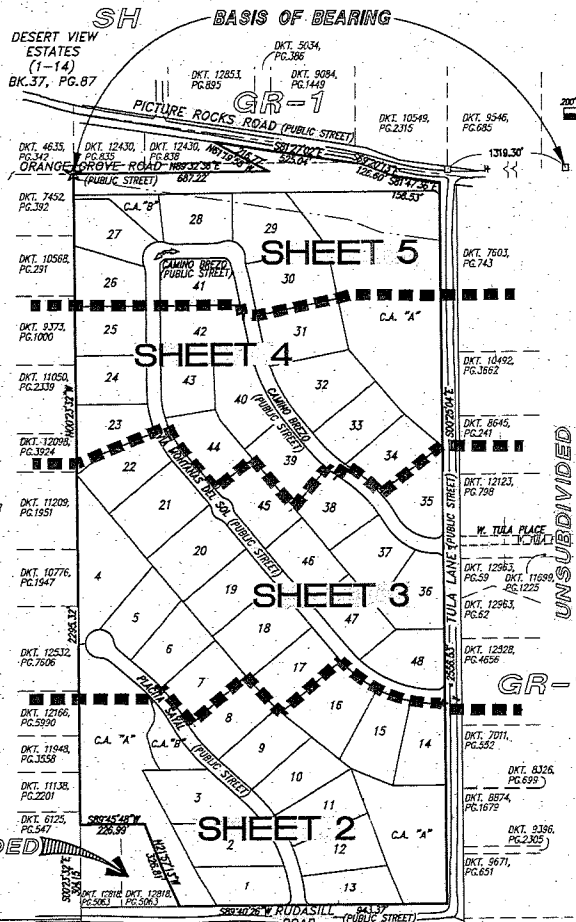
SOMERA COMPANES
 11125 N. LA CANADA DR.
 SUITE 201
 TUCSON, AZ 85737
 PHONE: (520) 575-8976 #14
 ATTN: SANJAY MADHAVAN

OWNER

FREEDY NATIONAL TITLE AGENCY, INC.
 AN ARIZONA CORPORATION
 TRUST NO. 60294
 7750 EAST BROADWAY
 SUITE B-222
 TUCSON, AZ 85710
 PHONE: (520) 731-2947
 ATTN: LAURA MARTINEZ

ENGINEER

STANTEC CONSULTING INC.
 201 N. BONTA AVENUE
 TUCSON, ARIZONA 85745-2999
 ATTN: WARREN D. THOMPSON, P.E.
 TEL: (520) 750-7474
 FAX: (520) 750-7470

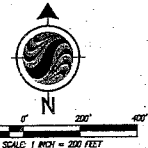


UNSUBDIVIDED

UNSUBDIVIDED

GR-1

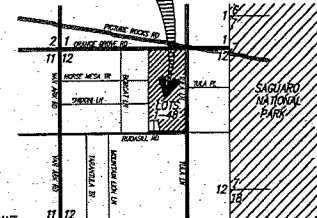
RH
 UNSUBDIVIDED
 SITE PLAN



LEGEND

- SHEETS SEPARATION
- SECTION LINE
- NEW PUBLIC RIGHT-OF-WAY DEDICATED TO PIMA COUNTY BY FINAL PLAT
- BOUNDARY LINE
- NEW WATER MAIN WITH VALVE AND FIRE HYDRANT
- EROSION HAZARD SETBACK
- 200' GATEWAY CORRIDOR (PICTURE ROCKS)
- 100 YEAR FLOOD PLAIN LIMITS (EXISTING)
- BASIS OF ELEVATION
- NEW SURVEY MONUMENT, SET 2" BRASS CAP IN CONCRETE MARKED BY REGISTERED LAND SURVEYOR
- EXISTING C/L PUBLIC RIGHT-OF-WAY
- EXISTING ELECTRIC LINES
- EXISTING WATER MAIN & SIZE
- EXISTING WATER VALVE
- FOUND MONUMENT
- SHEET NUMBERS
- P.U.E. (PUBLIC UTILITIES, MAINTENANCE AND STORAGE EASEMENT) GRANTED TO PIMA COUNTY AND ALL UTILITY COMPANIES BY FINAL PLAT
- SIGHT VISIBILITY TRIANGLE
- CLASS C XEROPHYTE HABITAT (FIELD VERIFIED)
- NATURAL OPEN SPACE
- FLOW ARROW FOR Q_s DISCHARGE
- W.S.E. WATER SURFACE ELEVATION
- SEPTIC DISPOSAL FIELD PRIMARY
- SEPTIC DISPOSAL FIELD RESERVE
- PROPOSED FAD ELEVATIONS (ADD 2400' TO ELEVATIONS)
- PROPOSED SPOT ELEVATIONS (ADD 2400' TO ELEVATIONS)
- DETAIL NUMBER SHEET NUMBER
- GRADE SLOPE
- CUT/FILL SLOPE (2:1 UNLESS OTHERWISE NOTED)
- DRIVEWAY LOCATION
- AREAS OF 15% OR GREATER SLOPES
- PROPOSED HANDRAIL PER PG/ODT #105
- BUILDING PAD (BP) AND BACKYARD (BY)

THIS PROJECT



LOCATION MAP

IN A PORTION OF SECTIONS 1 & 12 E - T 13 S - R 11 E, CASPRA, TUCSON, PIMA COUNTY, ARIZONA



SHEET INDEX

- OTHER SHEET/INDEX MAP/NOTES
- 1-5 PLAN SHEETS
- 6 CROSS SECTIONS AND DETAILS SHEET

APPROVED BY THE SUBDIVISION AND DEVELOPMENT REVIEW COMMITTEE
 BY *Warren D. Thompson* DATE *2/1/08*
 SUBDIVISION COORDINATOR

ENGINEER'S CERTIFICATE

THIS IS TO CERTIFY THAT THE GEOMETRIC DESIGN AND DELINEATION OF EXISTING FLOOD PRONE LIMITS, AS SHOWN, WERE COMPUTED AND/OR VERIFIED UNDER MY SUPERVISION.

WARREN D. THOMPSON
 PROFESSIONAL ENGINEER
 P.E. NUMBER 14654



TENTATIVE PLAT FOR MONTAÑAS DEL SOL
 LOTS 1-48 COMMON AREA "A" (NATURAL OPEN SPACE), AND COMMON AREA "B" (DRAINAGE, AND PUBLIC UTILITIES).

A SUBDIVISION LOCATED IN A PORTION OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTIONS 12, AND A PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 1,

TOWNSHIP 13 SOUTH, RANGE 11 EAST, GRA & SALT RIVER BASINS & MADERAN, PIMA COUNTY, ARIZONA

P1207-009

DATE: February 2008
 STANTEC PROJECT NO.: 185225580-148

SHEET 1 OF 6



Stantec Consulting
 201 North Bonta Ave
 Tucson, AZ USA
 85745-2999
 TEL: 520.750.7474
 FAX: 520.750.7470
 www.stantec.com

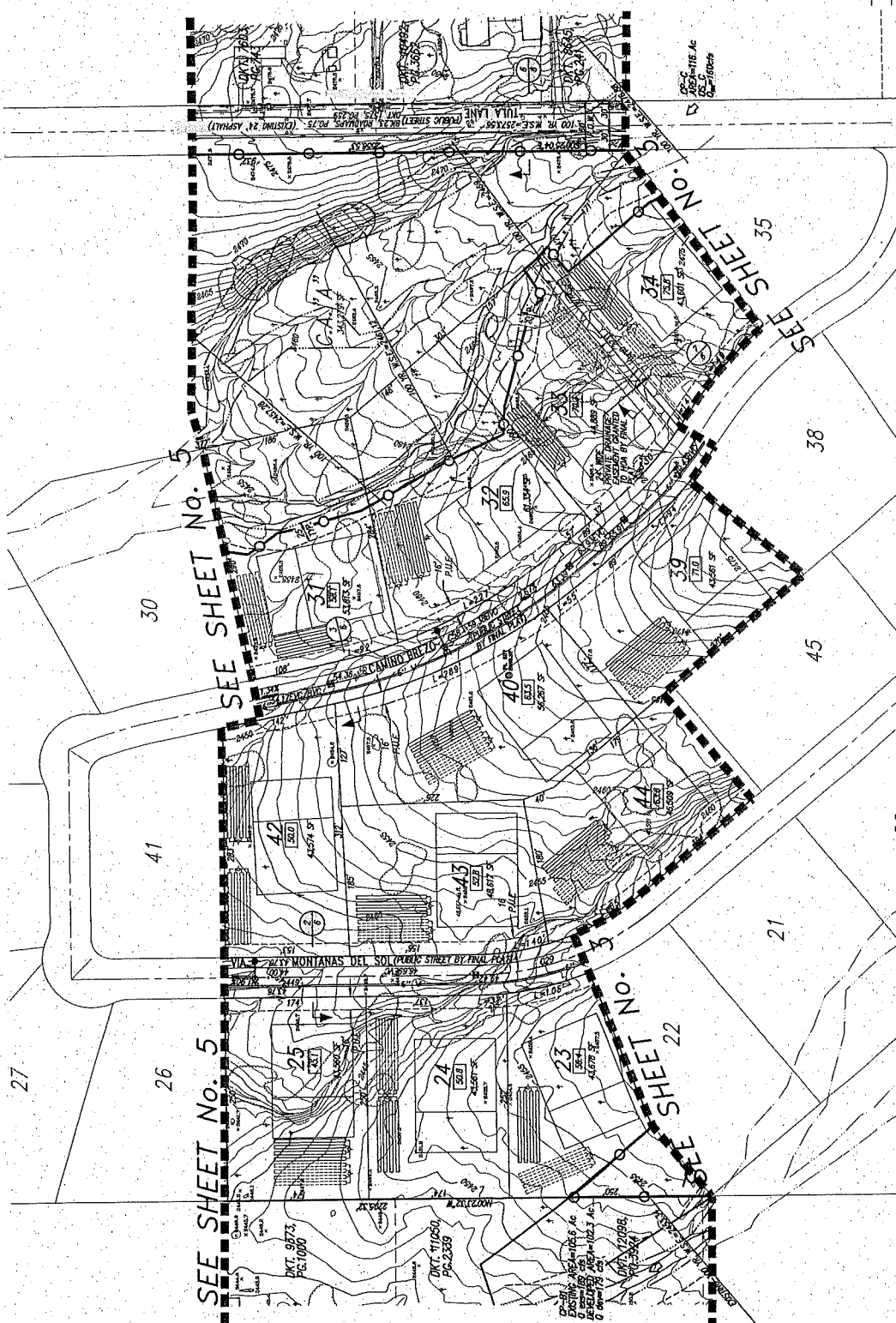


NOTICE OF DRAWING REPRESENTATION
 I, THE ENGINEER, HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF ARIZONA AND THAT I AM THE AUTHOR OF THE DESIGN AND DELINEATION OF THE PROJECT SHOWN ON THIS DRAWING. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE PROJECT SHOWN ON THIS DRAWING.



GRAPHIC SCALE
0 50 100
FOOT
CENTIMETER EQUIVALENT = 3.175 FT

CURVE TABLE	
CURVE	PARABOLIC
ARC LENGTH	CHORD
100	98.496
200	196.851
300	294.157
400	391.414
500	488.621
600	585.778
700	682.885
800	779.942
900	876.949
1000	973.906



SEE SHEET No. 5

SEE SHEET No. 22

SEE SHEET No. 35

TENTATIVE PLAT FOR
MONTANAS DEL SOL
 LOTS 1-49 COMMON AREA 'A'
 (NATURAL OPEN SPACE) AND COMMON AREA 'B'
 (DRAINAGE AND PUBLIC UTILITIES)
 A SUBDIVISION LOCATED IN A PORTION OF THE WEST HALF OF THE
 NORTHWEST QUARTER OF SECTIONS 12, AND A PORTION OF THE
 SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 1,
 TOWNSHIP 11 NORTH, RANGE 12 WEST,
 GILA & SAUL CRANFORD ACRES, A RESERVE
 PIMA COUNTY, ARIZONA
 P1207-008



IN COMPLIANCE WITH CERTIFICATION
 STAMP ON SHEET ONE

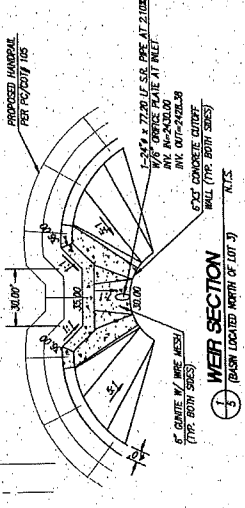
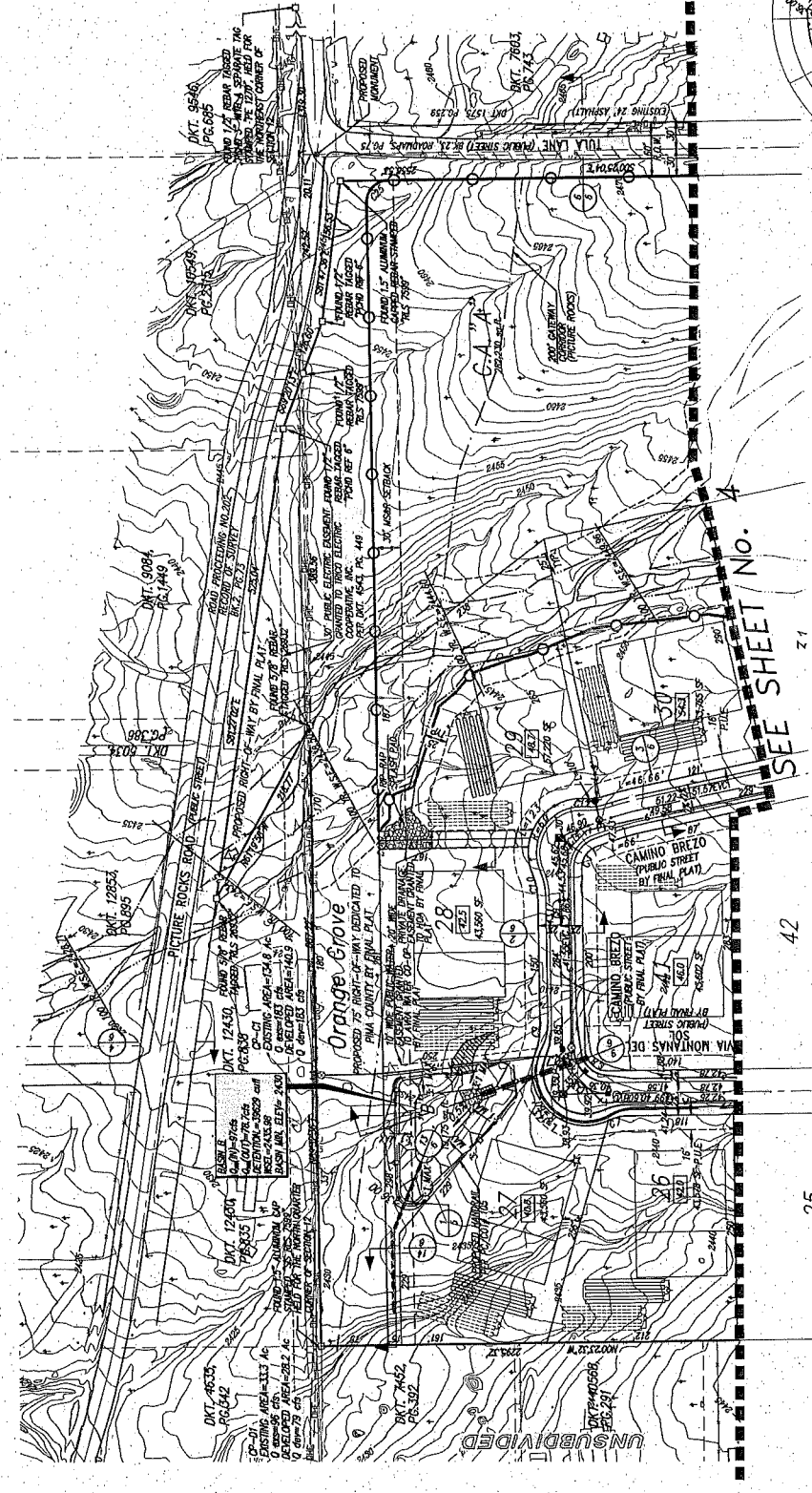
Stantec Consulting
 1100 North 1st Avenue
 Tempe, AZ 85281
 Tel. 480.345.2500
 Fax 480.345.2501
 www.stantec.com





CURVE	NO.	LENGTH	RADIUS
01	21'	50'	50'
02	21'	50'	50'
03	21'	50'	50'
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100	21'	50'	50'

REMARKS
 1. REMOVAL OF EXISTING BARRIERS PER P.C. 2017

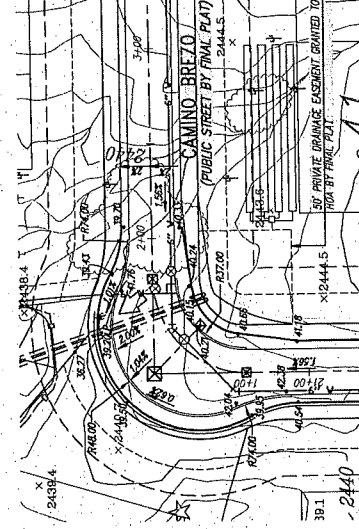
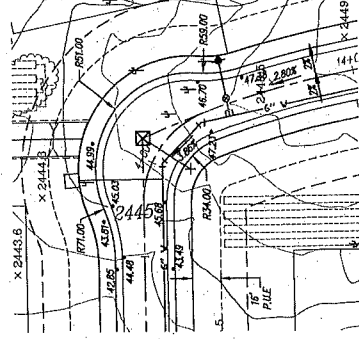


TENTATIVE PLAN FOR
MONTAÑAS DEL SOL
 LOTS 1-48 COMMON AREA 'A'
 (NATURAL OPEN SPACE) AND COMMON AREA 'B'
 (DRAINAGE AND PUBLIC UTILITIES)
 A SUBDIVISION LOCATED IN A PORTION OF THE WEST HALF OF THE
 NORTHWEST QUARTER OF SECTIONS 12, AND A PORTION OF THE
 SOUTH HALF OF SECTIONS 13, SURVOR RANGES 11 EAST,
 TOWNSHIP 21 NORTH, RANGE 12 EAST,
 GILA & SAUL RIVER BASINS & MERRIAM,
 PIMA COUNTY, ARIZONA
 P1207-009



DATE: February 2009
 STANTEC PROJECT NO. 16025280-148
 SHEET 5 OF 6

IN COMPLIANCE WITH CERTIFICATION
 SHOWN ON SHEET ONE



SCALE: 1" = 40' (VERT.)

SCALE: 1" = 20' (HORIZ.)

DEDICATION

WE, THE UNDERSIGNED, HEREBY WARRANT THAT WE ARE ALL AND THE ONLY PARTIES HAVING ANY TITLE INTEREST IN THE LAND SHOWN ON THIS PLAT, AND WE CONSENT TO THE SUBDIVISION OF SAID LAND IN THE MANNER SHOWN HEREON.

WE, THE UNDERSIGNED, DO HEREBY HOLD HARMLESS PIMA COUNTY AND PIMA COUNTY FLOOD CONTROL DISTRICT, THEIR SUCCESSORS, ASSIGNS, EMPLOYEES, OFFICERS AND AGENTS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THE PROPERTY DEPICTED ON THIS PLAT NOW AND IN THE FUTURE BY REASON OF FLOODING, FLOODING EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE, FLOOD OR RAINFALL.

WE HEREBY DEDICATE AND CONVEY TO PIMA COUNTY ALL RIGHTS-OF-WAY AS SHOWN HEREON, INCLUDING ALL PUBLIC STREETS, ROADS, DETENTION BASINS AND DRAINAGEWAYS.

WE HEREBY GRANT TO PIMA COUNTY AND ALL UTILITY COMPANIES ALL PUBLIC EASEMENTS AS SHOWN HEREON FOR THE PURPOSE OF ACCESS, INSTALLATION AND MAINTENANCE OF PUBLIC SEWERS AND UTILITIES AND OTHER USES AS DESIGNATED BY THIS PLAT.

COMMON AREAS AND PRIVATE EASEMENTS AS SHOWN HEREON ARE RESERVED FOR THE PRIVATE USE AND CONVENIENCE OF ALL OWNERS OF PROPERTY WITHIN THIS SUBDIVISION AND ARE GRANTED AS EASEMENTS TO PIMA COUNTY AND ALL UTILITY COMPANIES FOR THE PURPOSE OF ACCESS, INSTALLATION AND MAINTENANCE OF ABOVEGROUND AND UNDERGROUND UTILITIES AND PUBLIC SERVICES.

TITLE TO THE LAND OF ALL COMMON AREAS SHALL BE VESTED IN AN ASSOCIATION OF INDIVIDUAL LOT OWNERS AS ESTABLISHED BY COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED IN DOCKET 18314 AT PAGES 170-171 IN THE OFFICE OF THE PIMA COUNTY RECORDER. THIS ASSOCIATION WILL ACCEPT THE RESPONSIBILITY FOR CONTROL, MAINTENANCE, AND WALKWAY TAKES AND LIABILITY FOR THE COMMON AREAS, PRIVATE DRAINAGEWAYS AND PRIVATE EASEMENTS WITHIN THIS SUBDIVISION.

FIDELITY NATIONAL TITLE AGENCY, INC., AN ARIZONA CORPORATION, AS TRUSTEE ONLY, UNDER TRUST NO. 80294, AND NOT IN ITS CORPORATE CAPACITY.

By: [Signature] TRUST OFFICER

PURSUANT TO SECTION 33-404, ARIZONA REVISED STATUTES, THE NAME AND ADDRESS OF THE BENEFICIARY OF SAID TRUST, AS DISCLOSED BY DOCKET 12854, PAGE 307E, PIMA COUNTY RECORDS, IS AS FOLLOWS:

TELA LANE LLC, AN ARIZONA LIMITED LIABILITY COMPANY 11125 N. LA CANADA DRIVE SUITE 207 TUCSON AZ 85717

ACKNOWLEDGEMENT

STATE OF ARIZONA } SS COUNTY OF PIMA }

ON THIS 22nd DAY OF MAY, 2008, BEFORE ME, WHO PERSONALLY APPEARED [Signatures] WHO ACKNOWLEDGED (HIMSELF/THEMSELVES) TO BE THE TRUST OFFICER OF FIDELITY NATIONAL TITLE AGENCY, INC., AND BEING AUTHORIZED SO TO DO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREOF.

MY COMMISSION EXPIRES: June 1, 2011 [Signature] NOTARY PUBLIC



CERTIFICATION OF SURVEY

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS AN EXTERIOR BOUNDARY SURVEY MADE BY ME OR UNDER MY SUPERVISION AND THAT ALL EXTERIOR BOUNDARY MONUMENTS INDICATED HEREON ACTUALLY EXIST, AND THEIR LOCATION, SIZE AND MATERIAL ARE CORRECTLY SHOWN.

JOHN K. MELTON REGISTERED LAND SURVEYOR R.L.S. NUMBER 40279



CERTIFICATION OF ENGINEERING

I HEREBY CERTIFY THAT THE FLOOD PRONE LIMITS AND EROSION HAZARD SETBACKS AS SHOWN, WERE PREPARED BY ME OR UNDER MY SUPERVISION.

WARREN D. THOMPSON REGISTERED PROFESSIONAL ENGINEER P.E. NUMBER 14854



ASSURANCE

ASSURANCE IN THE FORM OF A THIRD PARTY TRUST AGREEMENT, TRUST NO. 80294 FROM FIDELITY NATIONAL TITLE AGENCY, INC., AN ARIZONA CORPORATION, AS RECORDED IN DOCKET 18314 PAGE 161 PIMA COUNTY RECORDS, HAS BEEN PROVIDED TO GUARANTEE IMPROVEMENTS AS REQUIRED BY THE PIMA COUNTY ZONING CODE, CHAPTER 18.09 (SUBDIVISION STANDARDS), IN THIS SUBDIVISION.

[Signature] 5-20-08 DATE CHAIR, BOARD OF SUPERVISORS PIMA COUNTY, ARIZONA

ATTEST

I, LORI GOODSHIAN, CLERK OF THE BOARD OF SUPERVISORS, HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE BOARD OF SUPERVISORS OF PIMA COUNTY, ARIZONA, ON THIS THE 20th DAY OF MAY, 2008.

[Signature] 5-20-08 DATE CLERK, BOARD OF SUPERVISORS

RECORDING

STATE OF ARIZONA } SS COUNTY OF PIMA }

THIS INSTRUMENT WAS FILED FOR RECORD AT THE REQUEST OF STANTEC CONSULTING, INC. ON THIS 22nd DAY OF MAY, 2008, AT 11:25 AM IN BOOK OF MAPS AND PLATS AT PAGE THEREOF.

F. ANN RODRIGUEZ PIMA COUNTY RECORDER [Signature] DEPUTY COUNTY RECORDER

W321 043 22-24 (P) 41 2008 will be recorded MAY 27, 2008



GENERAL NOTES

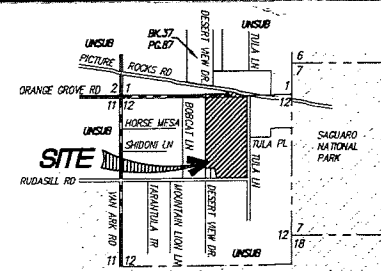
- 1. THE GROSS AREA OF THE SUBDIVISION IS 75.433 ACRES.
2. THE TOTAL MILES OF NEW PUBLIC STREETS IS 0.93
3. THE AREA BETWEEN 100-YEAR FLOOD LIMITS REPRESENTS AN AREA THAT MAY BE SUBJECT TO FLOODING FROM A 100-YEAR FREQUENCY FLOOD AND ALL LAND IN THIS AREA WILL BE RESTRICTED TO USES THAT ARE COMPATIBLE WITH FLOOD PLAIN MANAGEMENT AS APPROVED BY THE FLOODPLAIN ADMINISTRATOR.
4. BASIS OF BEARING: THE LINE BETWEEN THE FOUND MONUMENTS AT THE NORTH QUARTER CORNER AND THE NORTHEAST CORNER OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 11 EAST, G.A.S.R.M. BEARS NORTH 89°32'36" EAST, THE RECORD VALUE PER BOOK 17 OF SURVEY MAPS, AT PAGE 43 THEREOF, PIMA COUNTY RECORDS PIMA COUNTY, ARIZONA.
5. A CERTIFICATE OF ASSURED WATER SUPPLY HAS BEEN RECEIVED FROM THE DIRECTOR OF WATER RESOURCES.
6. THE WATER COMPANY THAT WILL SERVE THIS SUBDIVISION IS THE AHWAA VALLEY WATER CO.-OP, INC.
7. MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES SHALL BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED 30 INCHES AND 72 INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
8. NO FURTHER LOT SPLITTING OR SUBDIVISION WILL BE ALLOWED, WITHOUT APPROVAL OF THE BOARD OF SUPERVISORS, PIMA COUNTY.

PERMITTING NOTES

- 1. EXISTING ZONING IS CR-1.
2. GROSS DENSITY IS 0.66 RAC.
3. THIS SUBDIVISION IS SUBJECT TO SECTION 18.77.040 SCENIC ROUTES.
4. THIS SUBDIVISION IS SUBJECT TO SECTION 18.67.050 BUFFER OVERLAY ZONE.
5. LOTS 28 AND 29 ARE SUBJECT TO SECTION 18.78.030 GATEWAY OVERLAY ZONE AND WILL REQUIRE DRC APPROVAL FOR CONFORMANCE WITH SECTION 18.78.032 ARCHITECTURAL COLOR STANDARDS, IF DEVELOPMENT OCCURS WITHIN THE GATEWAY OVERLAY ZONE AS SHOWN ON THIS PLAT.
6. THIS PROJECT IS SUBJECT TO THE HILLSIDE DEVELOPMENT OVERLAY ZONE.
7. LOTS 1-23 AND 29-35 ARE IMPACTED BY REGULATORY FLOODPLAINS AND/OR EROSION HAZARD SETBACKS. DEVELOPMENT ON THESE LOTS REQUIRES PIMA COUNTY REGIONAL FLOOD CONTROL DISTRICT REVIEW AND APPROVAL PRIOR TO ISSUANCE OF ANY PERMITS.
8. REGULATORY FLOODPLAINS AND EROSION HAZARD SETBACKS ARE CONTAINED WITHIN COMMON AREA AND NATURAL OPEN SPACE, AND ANY DEVELOPMENT WITHIN THE AREAS CONTAINING FLOODPLAINS AND/OR EROSION HAZARDS REQUIRES PIMA COUNTY REGIONAL FLOOD CONTROL REVIEW AND APPROVAL.
9. REGULATED RIPARIAN HABITAT LIMITS WERE FIELD MAPPED DURING THE SUBDIVISION REVIEW PROCESS. NEW REGULATED RIPARIAN HABITAT LIMITS ARE SHOWN ON PAGES 4-7 AND 9 AND SHALL BE USED BY THE FLOOD CONTROL DISTRICT FOR REGULATORY REVIEW AND APPROVAL.
10. LOTS 4-23 ARE IMPACTED BY REGULATED RIPARIAN HABITAT. ANY DISTURBANCE OF THIS HABITAT REQUIRES FLOOD CONTROL DISTRICT REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF ANY PERMITS.
11. SEWAGE DISPOSAL FOR ALL LOTS WILL BE ON-SITE DISPOSAL SYSTEMS.
12. ON-SITE SEWAGE DISPOSAL SYSTEMS FOR ALL LOTS MUST BE DESIGNED ON AN INDIVIDUAL BASIS BY AN ENGINEER REGISTERED IN THE STATE OF ARIZONA. LOTS 14, 17, 26, 35, 38-40, 42, 44 AND 45 MAY REQUIRE ALTERNATIVE ON-SITE SEWAGE DISPOSAL SYSTEMS.

SHEET INDEX

- 1. COVER SHEET
2. INDEX SHEET, BOUNDARY DETAILS.
3-12. PLAN SHEETS
13. LINE AND CURVE TABLES



LOCATION MAP

LOCATED IN PORTIONS OF SECTIONS 1 & 12 T 13 S R 11 E G680M TUCSON, PIMA COUNTY, ARIZONA

LEGEND

Table with 2 columns: Symbol and Description. Includes Boundary Line, Right-of-Way Line, Property Line, Street Centerline, Easement and Buffer/Tard Lines, Setback Line, Section Line, Adjacent Property Line, 100 Year Flood Limit Line (FL), Erosion Hazard Setback Line (EHS), Class 'C' Xeroriparian Habitat (XG) - Field Verified, Natural Open Space, Sheet Match Line, and various markers for monuments and easements.

FINAL PLAT FOR Montañas Del Sol

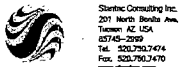
LOTS 1 TO 48, COMMON AREA "A" (NATURAL OPEN SPACE) AND COMMON AREA "B" (DRAINAGE)

A SUBDIVISION LOCATED IN PORTIONS OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 12 AND THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 1, T-13-S, R-11-E, G680M, PIMA COUNTY, ARIZONA

P207-009

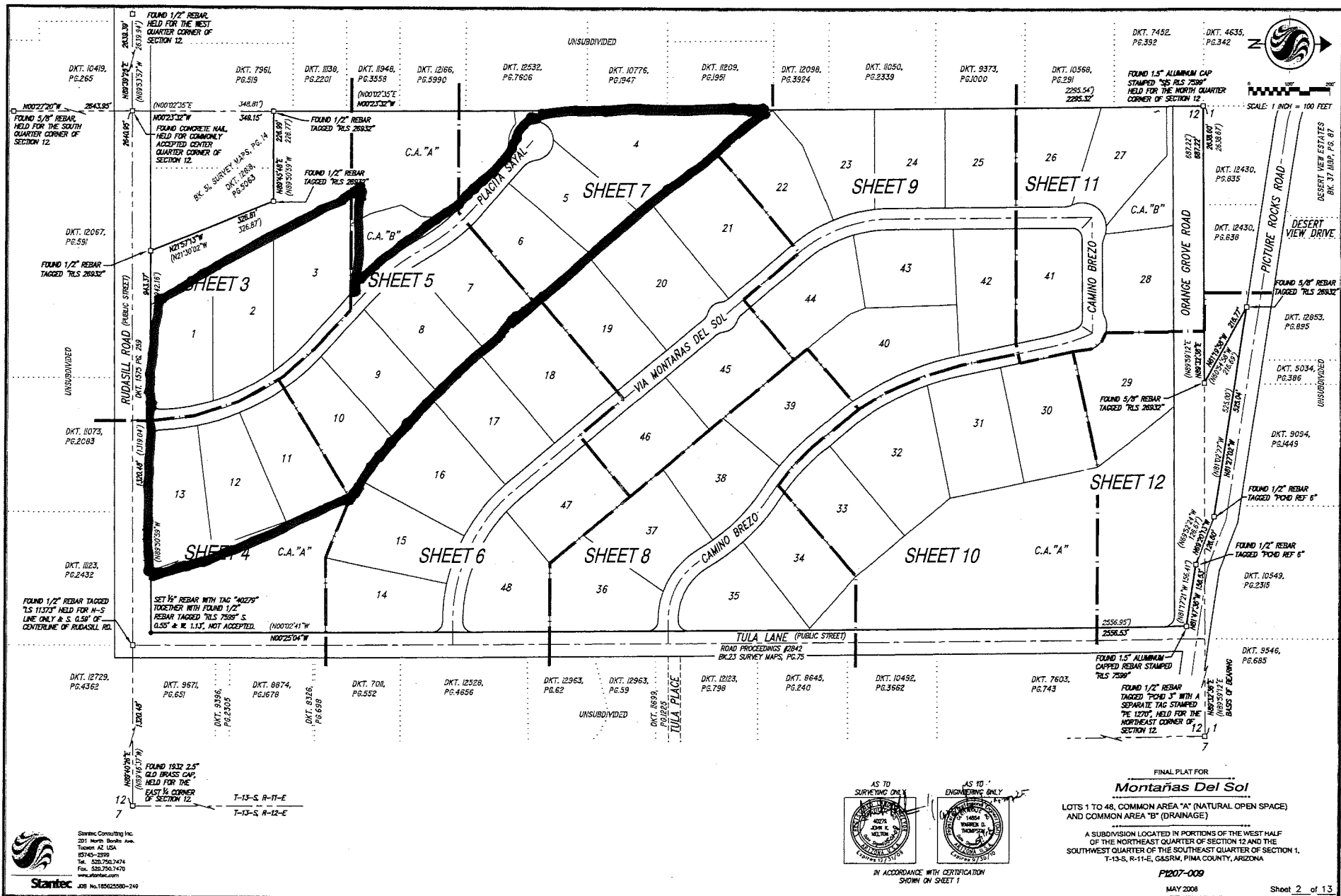
MAY 2008

Sheet 1 of 13



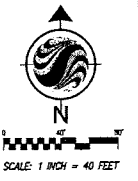
Stantec Consulting Inc. 201 North Bond St. Tucson, AZ USA 520-69-2900 Tel: 520-750-7474 Fax: 520-780-2470 www.stantec.com

008 No. 18542350-240



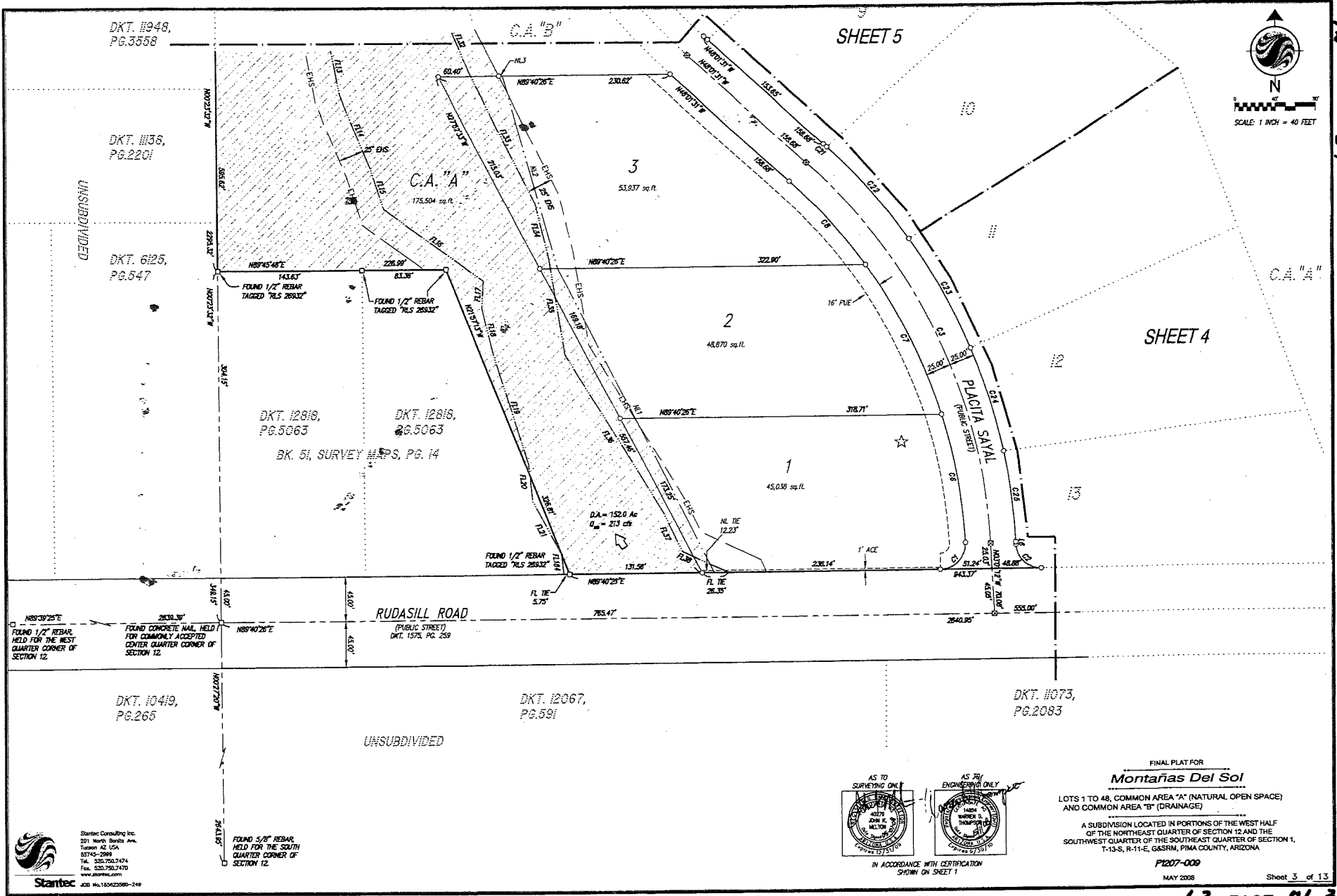
Stantec
 Job No. 18502580-240

FINAL PLAT FOR
Montañas Del Sol
 LOTS 1 TO 48, COMMON AREA "A" (NATURAL OPEN SPACE)
 AND COMMON AREA "B" (DRAINAGE)
 A SUBDIVISION LOCATED IN PORTIONS OF THE WEST HALF
 OF THE NORTHEAST QUARTER OF SECTION 12 AND THE
 SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 1,
 T-13-S, R-11-E, G&SRM, PIMA COUNTY, ARIZONA
 P207-009
 MAY 2008
 Sheet 2 of 13



SHEET 5

SHEET 4



DKT. #948, PG.3558

DKT. #36, PG.2201

DKT. 6125, PG.547

DKT. 12818, PG.5063

DKT. 12818, PG.5063

BK. 51, SURVEY MAPS, PG. 14

DKT. 10419, PG.265

DKT. 12067, PG.591

DKT. #073, PG.2083

FOUND 1/2" REBAR HELD FOR THE WEST QUARTER CORNER OF SECTION 12.

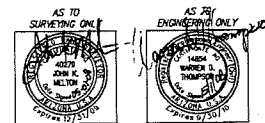
FOUND CONCRETE NAIL HELD FOR COMMONLY ACCEPTED CENTER QUARTER CORNER OF SECTION 12.

FOUND 5/8" REBAR HELD FOR THE SOUTH QUARTER CORNER OF SECTION 12.

RUDASILL ROAD (PUBLIC STREET) DKT. 1575, PG. 259

Stantec Consulting Inc. 201 North Bendis Ave. Tucson AZ, USA 85710-2961 Tel. 520.750.7474 Fax. 520.750.7470 www.stantec.com

JOB No. 180422000-249



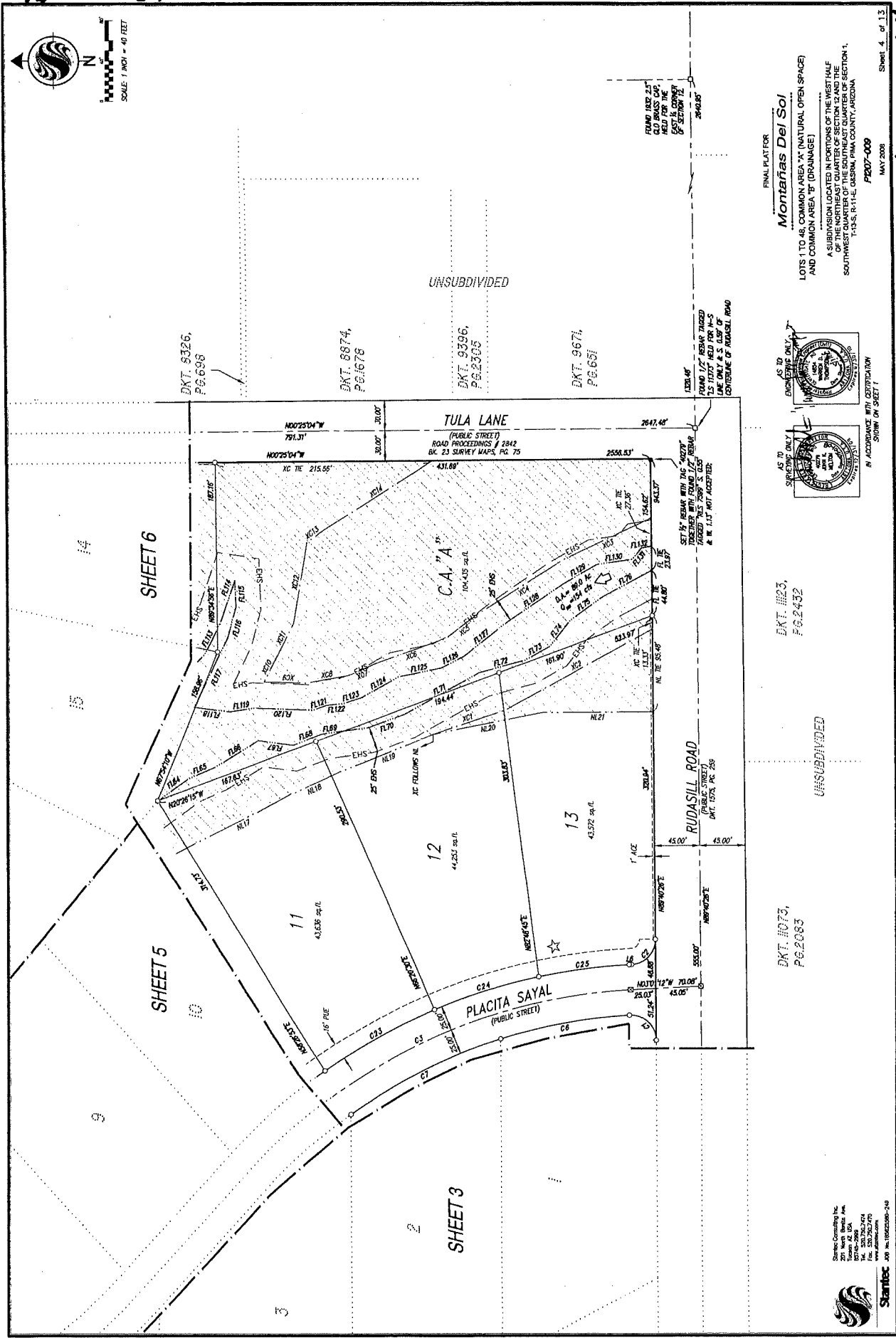
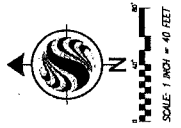
IN ACCORDANCE WITH CERTIFICATION SHOWN ON SHEET 1

FINAL PLAN FOR Montañas Del Sol LOTS 1 TO 48, COMMON AREA "A" (NATURAL OPEN SPACE) AND COMMON AREA "B" (DRAINAGE)

A SUBDIVISION LOCATED IN PORTIONS OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 12 AND THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 1, T-13-S, R-11-E, GASRM, PINA COUNTY, ARIZONA

P1207-009 MAY 2008

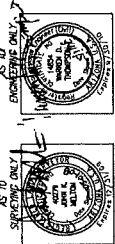
Sheet 3 of 13



FINAL PLATFOR
Montañas Del Sol
LOTS 1 TO 48, COMMON AREA "A" (NATURAL OPEN SPACE)
AND COMMON AREA "B" (DRAINAGE)

A SUBDIVISION LOCATED IN PORTIONS OF THE WEST HALF
OF THE NORTHEAST QUARTER AND THE SOUTHWEST QUARTER OF SECTION 1,
SOUTHWEST 1/4, T-15S, R-11-E, Q-289M, PIMA COUNTY, ARIZONA

P2007-009
MAY 2008
Sheet 4 of 13



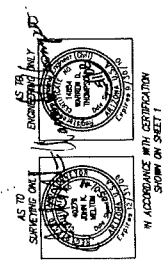
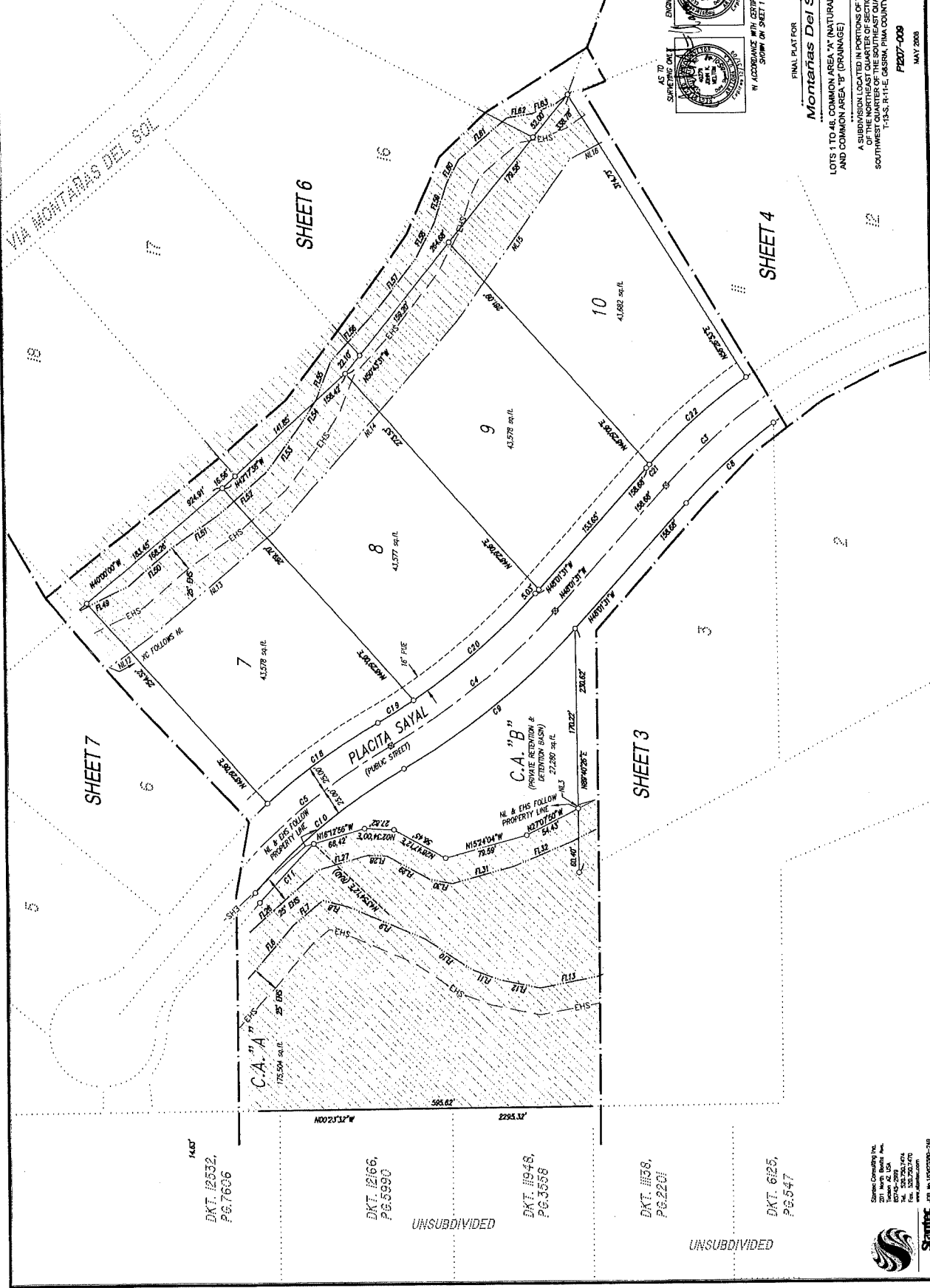
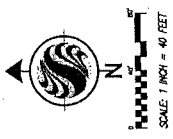
EXT. #203,
P.62432

EXT. #073,
P.62083

UNSUBDIVIDED

Stamtec
300 W. 110th Street - 740





FINAL PLATFOR
Montañas Del Sol
LOTS 1 TO 10 COMMON AREA "A" (NATURAL OPEN SPACE)
AND COMMON AREA "B" (DRAINAGE)
A SUBDIVISION LOCATED IN PORTIONS OF THE WEST HALF
AND PORTIONS OF THE EAST HALF OF SECTION 10,
SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 1,
T-15S, R-11-E, GADSDEN, PINA COUNTY, ARIZONA
P2007-008
MAY 2008
Sheet 5 of 13

14.67
DKT. 12532,
PG.7636

DKT. 12166,
PG.5990

UNSUBDIVIDED

DKT. 11945,
PG.3558

DKT. 11338,
PG.2201

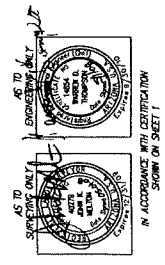
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DKT. 6125,
PG.547

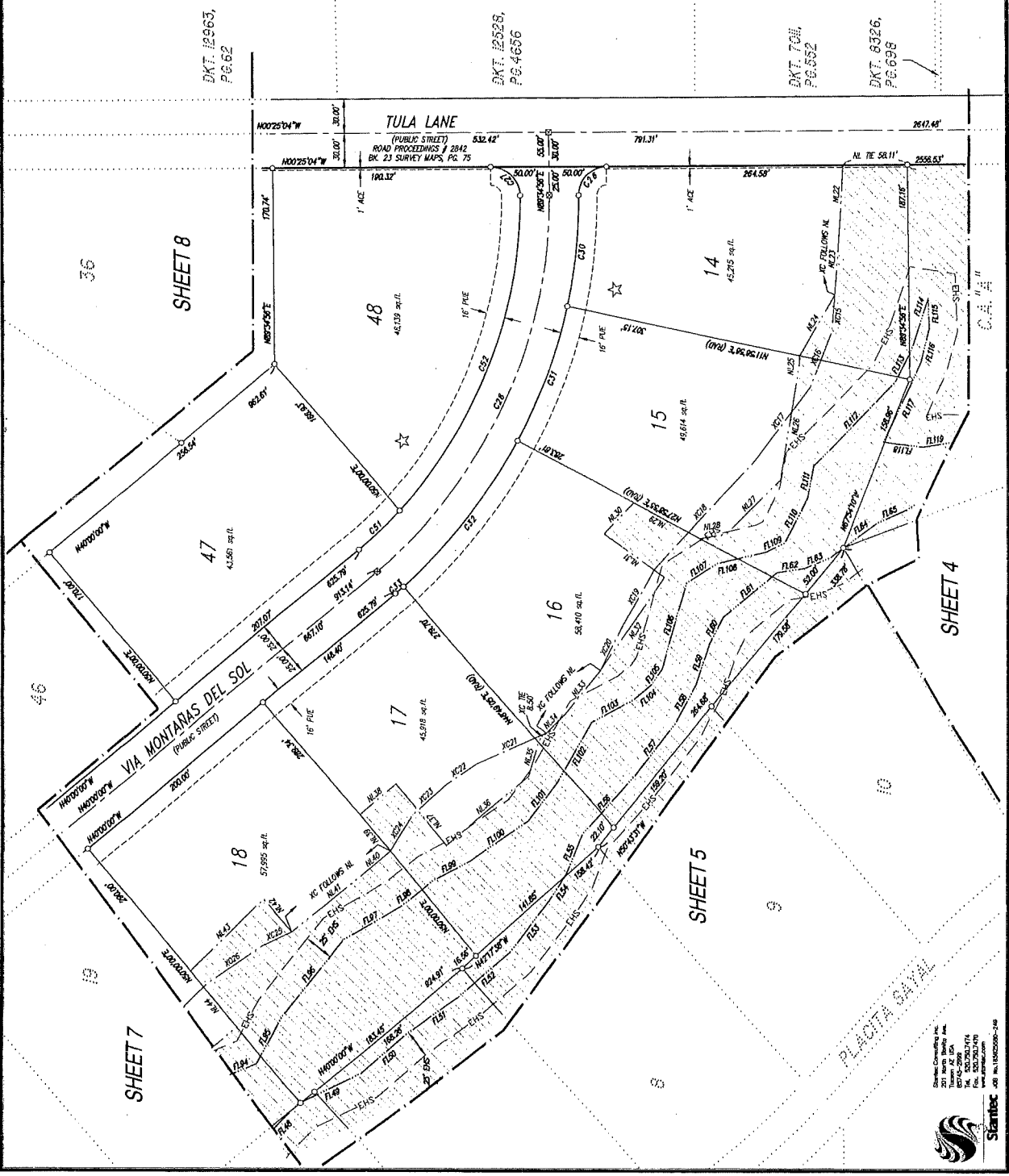
Stantec Consulting Inc.
224 West Park Blvd.
Suite 200
Phoenix, AZ 85015
(602) 954-2000
Fax: (602) 954-1470
www.stantec.com



Job No. 11052506-010

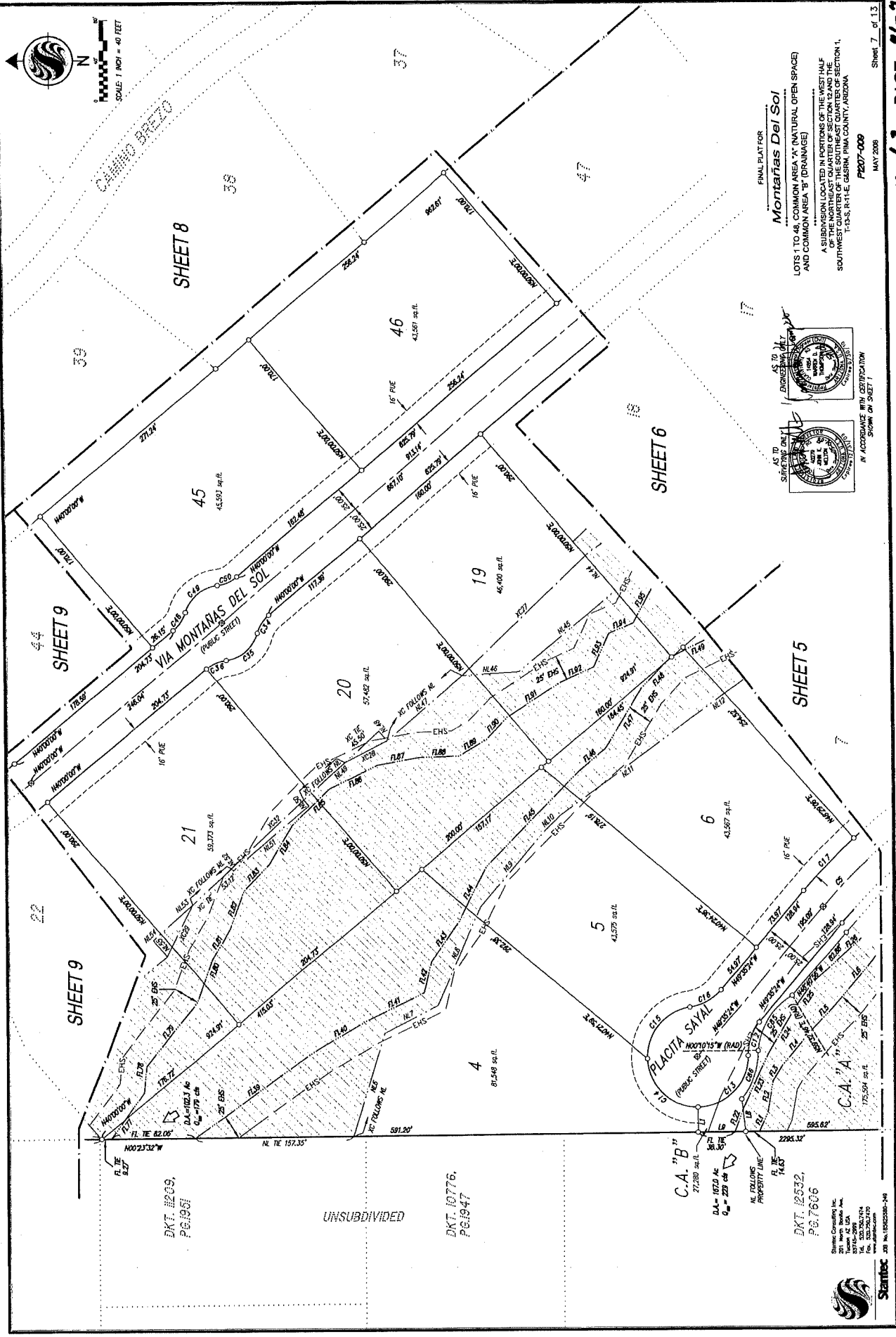
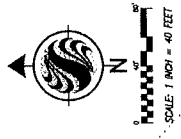


FINAL PLATFOR
Montañas Del Sol
LOTS 1 TO 48, COMMON AREA "A" NATURAL OPEN SPACE
AND COMMON AREA "B" (DRAINAGE)
A SUBDIVISION LOCATED IN PORTIONS OF THE WEST HALF
SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 1,
T.13S, R.11E, G.89M, PIMA COUNTY, ARIZONA
F2007-009
MAY 2008
Sheet 5 of 13

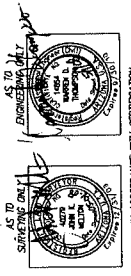


Stantec Consulting Inc.
201 North 10th Street
Phoenix, AZ 85004
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Fax: 602-252-7470
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JOB No. 13020086-749





FINAL PLATFOR
Montañas Del Sol
 LOTS 1 TO 48, COMMON AREA "A" (NATURAL OPEN SPACE)
 AND COMMON AREA "B" (DRAINAGE)
 A SUBDIVISION LOCATED IN PORTIONS OF THE WEST HALF
 OF THE NORTHEAST QUARTER OF SECTION 12 AND THE
 SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14,
 T15S, R17E, E1E, MARICOPA COUNTY, ARIZONA
 P207-009
 MAY 2008
 Sheet 7 of 13



IN ACCORDANCE WITH CERTIFICATION
 SHOWN ON SHEET 1

DKT. 10776,
 PG. 1937

UNSUBDIVIDED

DKT. 10776,
 PG. 1947

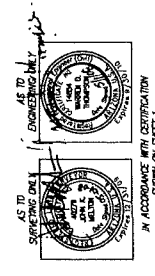
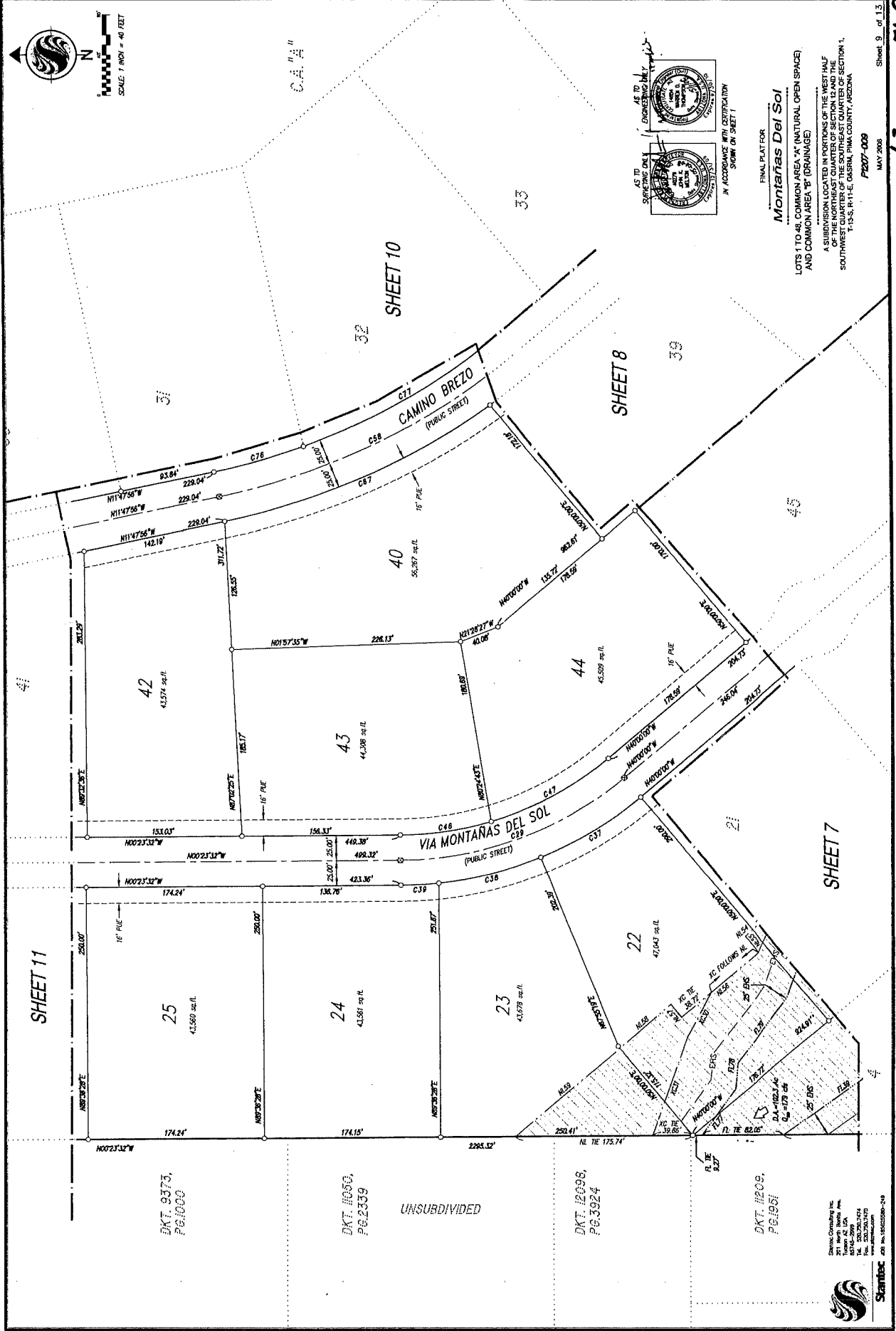
C.A. "B"
 71,280 sq. ft.
 D.A. = 1023.46
 C_u = 229.68

DKT. 12532,
 PG. 7606

Stantec Consulting, Inc.
 201 North Tenth Ave.
 Suite 1000
 Phoenix, AZ 85004
 Tel: 602.252.2170
 Fax: 602.252.2170
 www.stantec.com



208 No. 110002080-248



FINAL PLAT FOR
Montañas Del Sol
LOTS 1 TO 48, COMMON AREA "A" (NATURAL OPEN SPACE) AND COMMON AREA "B" (DRAINAGE)

AS BEING PLACED IN PORTIONS OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 12 AND THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 1, T-13-S, R-11-E, GOSRIAL, PINA COUNTY, ARIZONA

PROJECT-008
MAY 2008

DKT. 9373,
P.63000

DKT. 9350,
P.62339

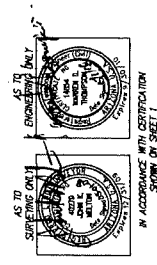
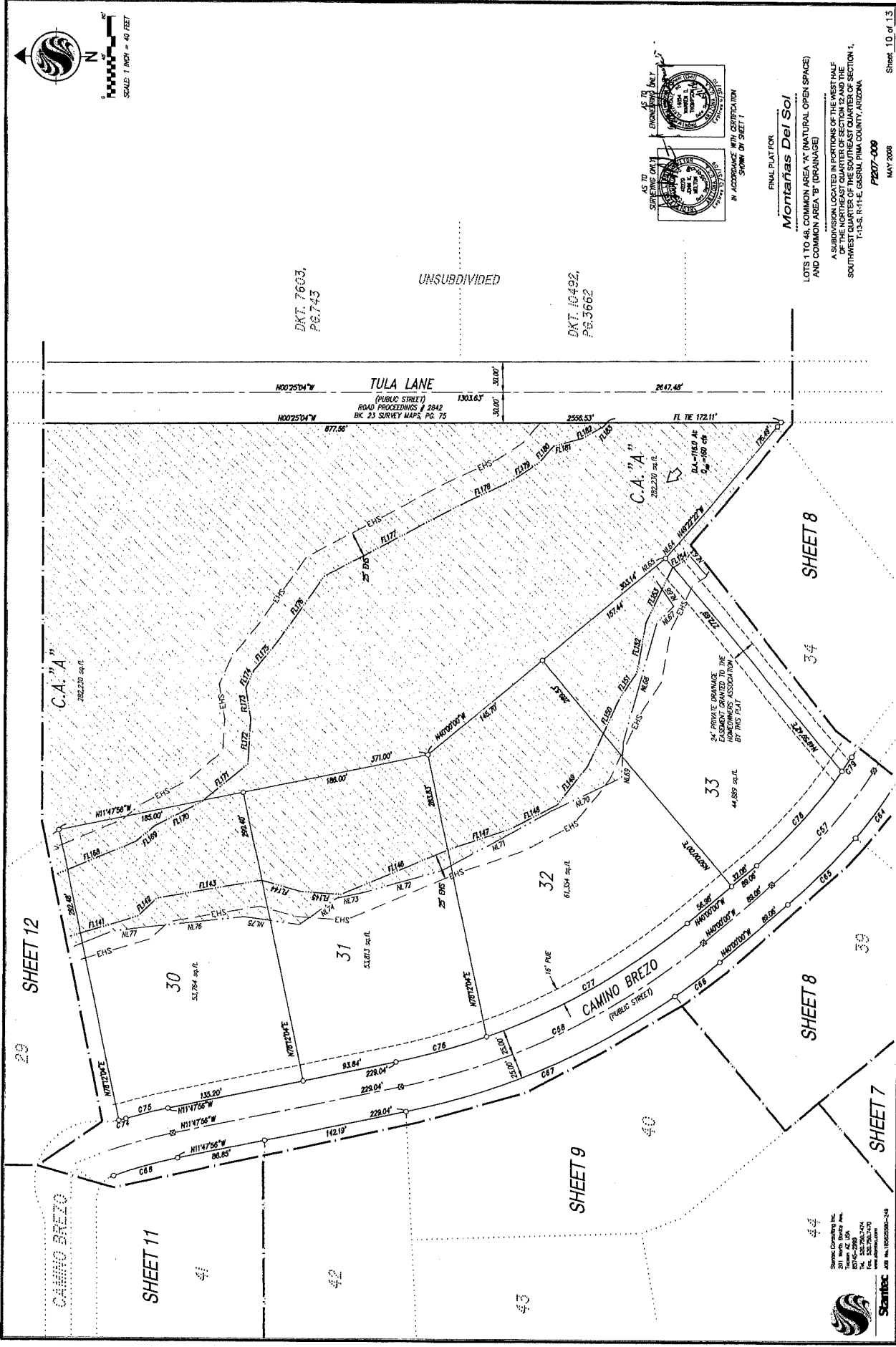
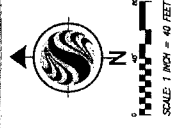
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DKT. 9398,
P.63924

DKT. 9209,
P.61951

Stamtec
Civil Engineering Inc.
201 West 2nd Street
Phoenix, AZ 85001
Tel: 602-251-7000
Fax: 602-251-7001
www.stamtec.com

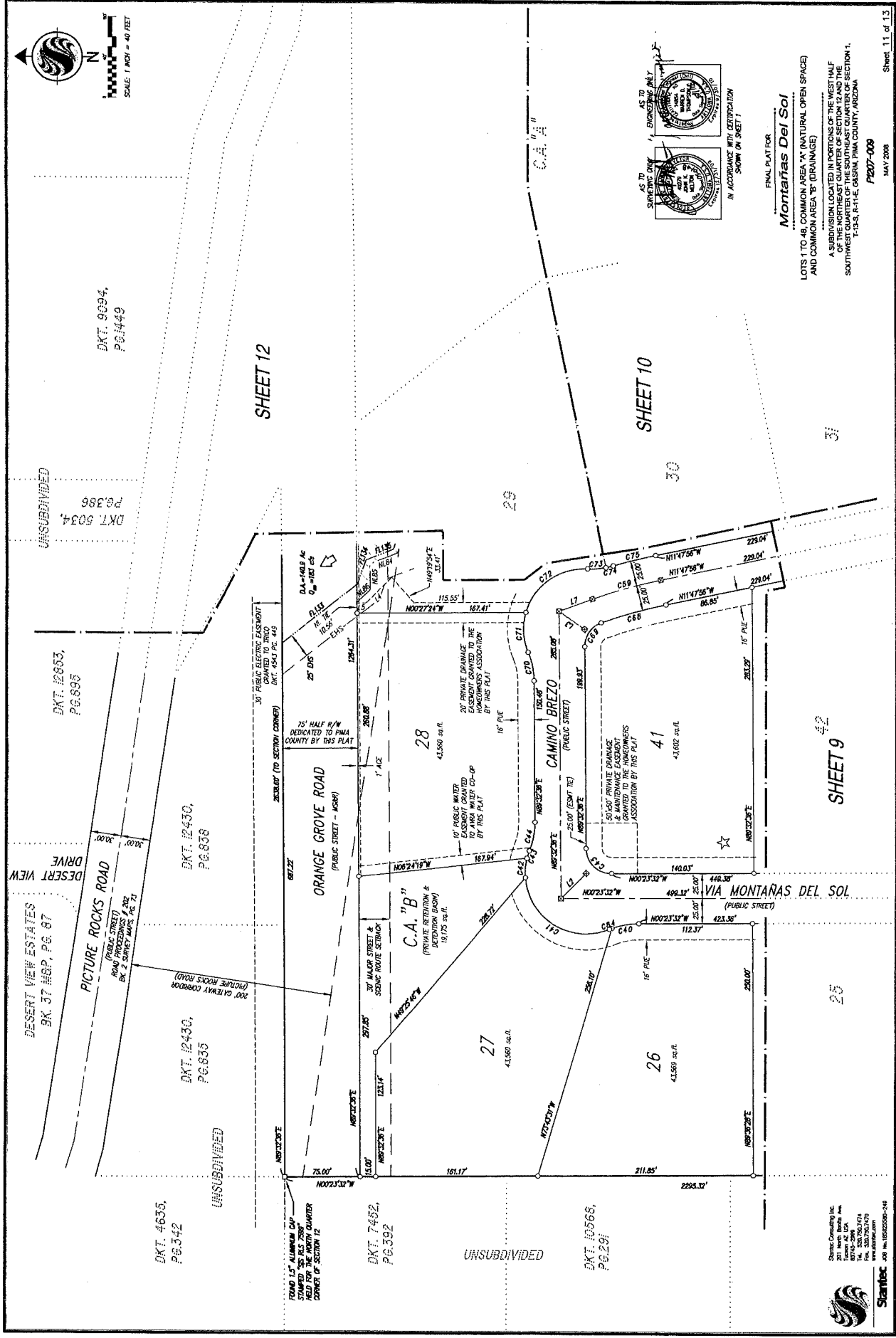




FINAL PLATFOR
Montañas Del Sol
LOTS 1 TO 48, COMMON AREA "A" (NATURAL OPEN SPACE)
AND COMMON AREA "B" (DRAINAGE)
A SUBDIVISION LOCATED IN PORTIONS OF THE WEST HALF
OF THE NORTHEAST QUARTER OF SECTION 12 AND THE
SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 1,
T-10-S, R-1-E, GILSON, PIMA COUNTY, ARIZONA
P207-000
MAY 2008

44
Santec Consulting Inc.
211 North Oracle Ave.
Suite 200
Tucson, AZ 85705-2200
Tel: 520.780.9774
Fax: 520.780.9774
www.santec.com





UNSUBDIVIDED
DXT. 9394,
P.G. 1449
DXT. 5034,
P.G. 386

DXT. 12653,
P.G. 885

DESERT VIEW ESTATES
BK. 37 MAP, P.G. 87
PICTURE ROCKS ROAD
(PUBLIC STREET)
ROAD RECORDS & 2ND
BK. 2 SURVEY MAPS, P.G. 71

DXT. 12430,
P.G. 638

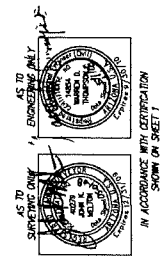
DXT. 12430,
P.G. 638

DXT. 4635,
P.G. 342

SHEET 12

SHEET 10

SHEET 9



FINAL PLAT FOR
Montañas Del Sol
LOTS 1 TO 48, COMMON AREA "A" (NATURAL OPEN SPACE)
AND COMMON AREA "B" (DRAINAGE)

A SUBDIVISION LOCATED IN PORTIONS OF THE WEST HALF
OF THE NORTHEAST QUARTER OF SECTION 12 AND THE
SOUTHWEST QUARTER OF SECTION 13, T.15S., R.11E., G.35M., PIMA COUNTY, ARIZONA

P207-009
MAY 2008

Sheet 11 of 13

Stantec Consulting Inc.
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Tucson, AZ 85704-2004
Tel: 520.792.7470
www.stantec.com





UNSUBDIVIDED
DKT. 9546,
PG.688

DKT. 10549,
PG.2315

UNSUBDIVIDED
DKT. 9094,
PG.449

UNSUBDIVIDED
DKT. 5034,
PG.886

DKT. 12853,
PG.895

FOUND 1/2" REBAR TAPPED
POD 3 WITH A SEPARATE THE
REBAR TAPPED FOR THE
WEST-EAST CORNER OF
SECTION 12.

FOUND 1/2" REBAR TAPPED
POD 6 WITH A SEPARATE THE
REBAR TAPPED FOR THE
WEST-EAST CORNER OF
SECTION 12.

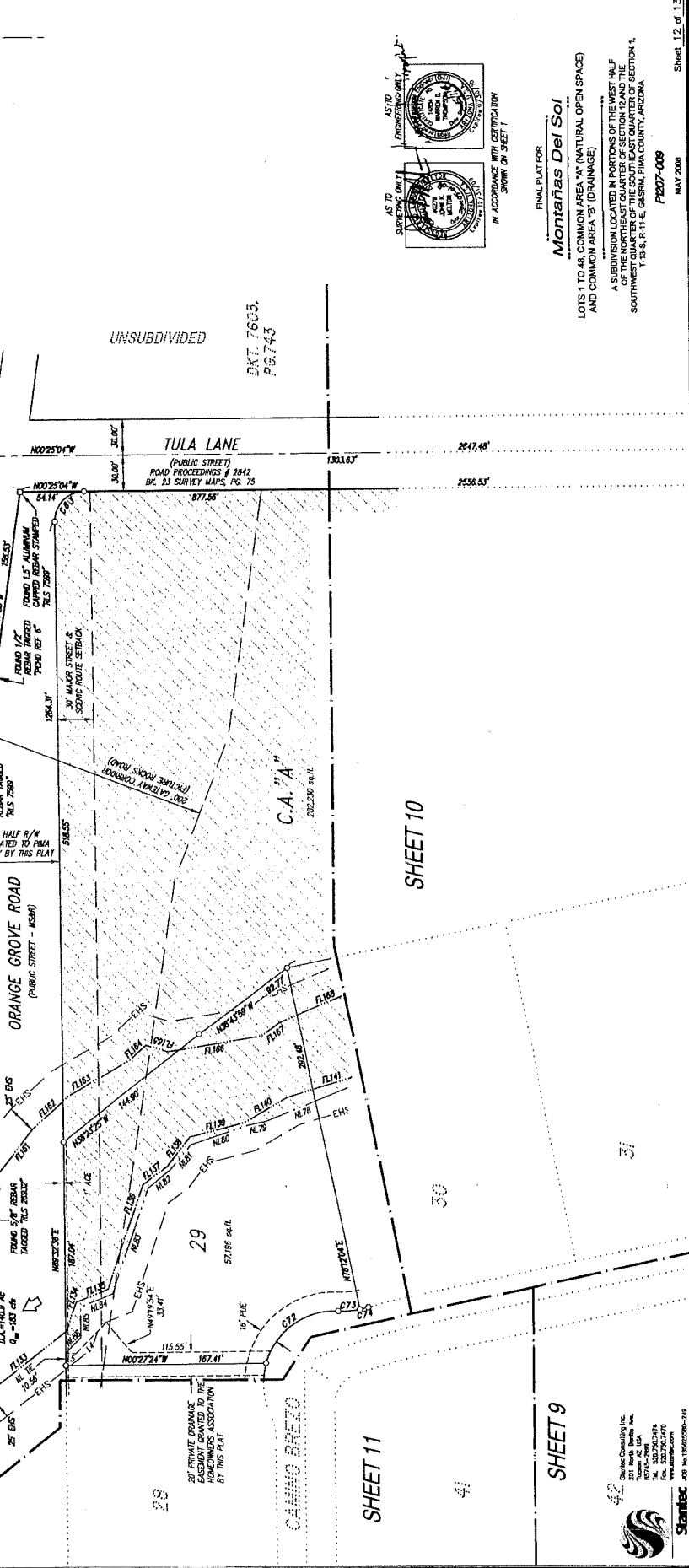
FOUND 1/2" REBAR TAPPED
POD 7 WITH A SEPARATE THE
REBAR TAPPED FOR THE
WEST-EAST CORNER OF
SECTION 12.

FOUND 5/8" REBAR
TAPPED TELS 2802Z

FOUND 5/8" REBAR
TAPPED TELS 2802Z

75' HALF R/W
DEDICATED TO PIMA
COUNTY BY THIS PLAT

20' PRIVATE DRAINAGE
EASEMENT GRANTED TO THE
HOMEOWNERS ASSOCIATION
BY THIS PLAT



UNSUBDIVIDED

DKT. 7603,
PG.743

TULA LANE
(PUBLIC STREET)
ROAD PROCEEDINGS # 2842
BK. 23 SURVEY MAPS, PG. 75

ORANGE GROVE ROAD
(PUBLIC STREET - 4086')

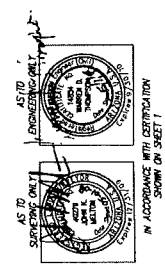
PICTURE ROCKS ROAD
(PUBLIC STREET)
ROAD PROCEEDINGS # 2842
BK. 23 SURVEY MAPS, PG. 75

C.A. "A"

SHEET 10

SHEET 11

SHEET 9



FINAL PLAT FOR
Montañas Del Sol
LOTS 1 TO 48, COMMON AREA "A" (NATURAL OPEN SPACE)
AND COMMON AREA "B" (DRAINAGE)

A SUBDIVISION LOCATED IN PORTIONS OF THE WEST HALF
QUARTER OF SECTION 12 AND THE
SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 1,
T-19-S, R-11-E, GARRA, PIMA COUNTY, ARIZONA

PG07-009
MAY 2008

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Starbuck
201 North Route Ave.
Tucson, AZ 85710-2808
Tel: 520-750-7474
Fax: 520-750-7474
www.starbuck.com

LINE	LENGTH	BEARING
L1	25.00	N08°28'30"E
L2	35.34	N45°52'28"W
L3	35.34	N132°02'21"E
L4	35.34	N02°02'21"E
L5	45.59	N08°28'30"E
L6	2.35	N03°01'00"W
L7	35.20	N07°10'00"W
L8	32.77	N03°26'12"E
L9	46.68	N09°15'30"W

CURVE	LENGTH	BADIUS	CHORD	CHORD DIRECTION
C16	92.47	565.00	92.29	N15°52'28"W
C17	221.46	1375.00	220.31	N02°02'21"E
C18	176.89	1095.00	176.51	N08°28'30"E
C19	16.98	106.00	16.98	N08°28'30"E
C20	143.47	895.00	143.47	N08°28'30"E
C21	164.80	1031.00	164.80	N08°28'30"E
C22	164.80	1031.00	164.80	N08°28'30"E
C23	164.80	1031.00	164.80	N08°28'30"E
C24	2.47	25.00	2.47	N08°28'30"E
C25	2.47	25.00	2.47	N08°28'30"E
C26	52.02	325.30	52.02	N08°28'30"E
C27	52.02	325.30	52.02	N08°28'30"E

CURVE	LENGTH	BADIUS	CHORD	CHORD DIRECTION
C28	92.47	565.00	92.29	N15°52'28"W
C29	221.46	1375.00	220.31	N02°02'21"E
C30	176.89	1095.00	176.51	N08°28'30"E
C31	16.98	106.00	16.98	N08°28'30"E
C32	143.47	895.00	143.47	N08°28'30"E
C33	164.80	1031.00	164.80	N08°28'30"E
C34	164.80	1031.00	164.80	N08°28'30"E
C35	164.80	1031.00	164.80	N08°28'30"E
C36	2.47	25.00	2.47	N08°28'30"E
C37	2.47	25.00	2.47	N08°28'30"E
C38	52.02	325.30	52.02	N08°28'30"E
C39	52.02	325.30	52.02	N08°28'30"E

LINE	LENGTH	BEARING
F151	10.83	N83°33'30"E
F152	38.08	N84°41'17"W
F153	38.08	N84°41'17"W
F154	19.97	N83°33'30"E
F155	52.79	N87°03'00"W
F156	44.44	N86°53'48"W
F157	93.09	N87°17'47"E
F158	37.82	N87°03'00"W
F159	54.47	N83°33'30"E
F160	22.54	N83°33'30"E
F161	46.63	N83°33'30"E
F162	42.55	N83°33'30"E
F163	37.80	N83°33'30"E
F164	18.85	N83°33'30"E
F165	18.85	N83°33'30"E
F166	18.85	N83°33'30"E
F167	18.85	N83°33'30"E
F168	20.11	N83°33'30"E
F169	25.42	N83°33'30"E
F170	52.71	N87°10'00"W
F171	57.56	N89°00'00"W
F172	45.14	N88°58'17"W
F173	18.94	N88°58'17"W
F174	18.94	N88°58'17"W
F175	35.84	N85°14'17"W
F176	78.11	N85°14'17"W
F177	148.43	N87°20'00"W
F178	58.68	N87°20'00"W
F179	34.06	N83°48'49"W
F180	21.40	N83°48'49"W
F181	24.84	N83°48'49"W
F182	24.84	N83°48'49"W
F183	42.33	N85°14'17"W
F184	19.75	N85°14'17"W

LINE	LENGTH	BEARING
F185	54.03	N87°10'00"W
F186	26.36	N87°10'00"W
F187	80.78	N83°13'30"E
F188	80.78	N83°13'30"E
F189	44.84	N87°10'00"W
F190	34.34	N87°10'00"W
F191	41.61	N87°10'00"W
F192	36.62	N87°10'00"W
F193	54.47	N83°33'30"E
F194	54.47	N83°33'30"E
F195	52.78	N83°33'30"E
F196	42.49	N87°10'00"W
F197	40.74	N87°10'00"W
F198	31.60	N87°10'00"W
F199	26.89	N87°10'00"W
F200	61.75	N83°33'30"E
F201	61.75	N83°33'30"E
F202	33.67	N83°33'30"E
F203	26.81	N83°33'30"E
F204	42.29	N87°10'00"W
F205	64.39	N87°10'00"W
F206	58.34	N87°10'00"W
F207	34.43	N87°10'00"W
F208	34.43	N87°10'00"W
F209	62.62	N87°10'00"W
F210	62.62	N87°10'00"W
F211	60.79	N87°10'00"W
F212	41.85	N87°10'00"W
F213	71.52	N87°10'00"W
F214	16.35	N87°10'00"W
F215	83.62	N87°10'00"W
F216	83.62	N87°10'00"W
F217	42.43	N87°10'00"W
F218	58.46	N87°10'00"W
F219	43.81	N83°41'17"W
F220	28.60	N87°10'00"W
F221	103.13	N87°10'00"W
F222	30.77	N83°33'30"E
F223	30.77	N83°33'30"E
F224	26.37	N87°10'00"W
F225	38.77	N87°10'00"W
F226	78.65	N87°10'00"W
F227	35.45	N87°10'00"W
F228	24.22	N83°33'30"E
F229	19.97	N87°10'00"W
F230	19.97	N87°10'00"W
F231	19.97	N87°10'00"W
F232	19.97	N87°10'00"W
F233	19.97	N87°10'00"W
F234	62.56	N89°03'28"W
F235	43.19	N87°10'00"W
F236	26.39	N87°10'00"W
F237	26.39	N87°10'00"W
F238	38.17	N87°10'00"W
F239	38.17	N87°10'00"W
F240	33.53	N87°10'00"W
F241	14.43	N87°10'00"W
F242	14.43	N87°10'00"W
F243	95.13	N87°10'00"W
F244	25.45	N87°10'00"W
F245	25.45	N87°10'00"W
F246	92.40	N87°10'00"W
F247	92.40	N87°10'00"W
F248	21.60	N87°10'00"W
F249	21.60	N87°10'00"W
F250	30.88	N87°10'00"W
F251	65.57	N87°10'00"W
F252	42.34	N87°10'00"W
F253	42.34	N87°10'00"W
F254	10.74	N87°10'00"W
F255	10.74	N87°10'00"W
F256	35.74	N87°10'00"W
F257	35.74	N87°10'00"W
F258	38.15	N87°10'00"W
F259	38.15	N87°10'00"W
F260	61.75	N83°33'30"E
F261	61.75	N83°33'30"E
F262	21.65	N87°10'00"W
F263	21.65	N87°10'00"W
F264	52.43	N83°42'50"W
F265	29.47	N87°10'00"W
F266	59.15	N87°10'00"W
F267	35.74	N87°10'00"W
F268	35.74	N87°10'00"W
F269	10.74	N87°10'00"W
F270	10.74	N87°10'00"W
F271	55.66	N89°03'28"W
F272	47.57	N87°10'00"W
F273	27.69	N87°10'00"W
F274	27.69	N87°10'00"W
F275	42.34	N87°10'00"W

LINE	LENGTH	BEARING
F276	42.34	N87°10'00"W
F277	42.34	N87°10'00"W
F278	42.34	N87°10'00"W
F279	42.34	N87°10'00"W
F280	42.34	N87°10'00"W
F281	42.34	N87°10'00"W
F282	42.34	N87°10'00"W
F283	42.34	N87°10'00"W
F284	42.34	N87°10'00"W
F285	42.34	N87°10'00"W
F286	42.34	N87°10'00"W
F287	42.34	N87°10'00"W
F288	42.34	N87°10'00"W
F289	42.34	N87°10'00"W
F290	42.34	N87°10'00"W
F291	42.34	N87°10'00"W
F292	42.34	N87°10'00"W
F293	42.34	N87°10'00"W
F294	42.34	N87°10'00"W
F295	42.34	N87°10'00"W
F296	42.34	N87°10'00"W
F297	42.34	N87°10'00"W
F298	42.34	N87°10'00"W
F299	42.34	N87°10'00"W
F300	42.34	N87°10'00"W

LINE	LENGTH	BEARING
X1	25.50	N72°15'15"W
X2	156.49	N83°33'30"E
X3	85.95	N87°10'00"W
X4	91.05	N87°10'00"W
X5	76.03	N87°10'00"W
X6	21.04	N82°54'30"W
X7	41.54	N71°13'17"E
X8	26.87	N87°10'00"W
X9	38.14	N87°10'00"W
X10	61.45	N87°10'00"W
X11	128.81	N87°10'00"W
X12	52.02	N87°10'00"W
X13	32.10	N87°10'00"W
X14	48.84	N87°10'00"W
X15	48.84	N87°10'00"W
X16	48.84	N87°10'00"W
X17	48.84	N87°10'00"W
X18	48.84	N87°10'00"W
X19	48.84	N87°10'00"W
X20	48.84	N87°10'00"W
X21	48.84	N87°10'00"W
X22	48.84	N87°10'00"W
X23	48.84	N87°10'00"W
X24	48.84	N87°10'00"W
X25	48.84	N87°10'00"W
X26	48.84	N87°10'00"W
X27	48.84	N87°10'00"W
X28	48.84	N87°10'00"W
X29	48.84	N87°10'00"W
X30	48.84	N87°10'00"W
X31	48.84	N87°10'00"W
X32	48.84	N87°10'00"W
X33	48.84	N87°10'00"W

LINE	LENGTH	BEARING
Y1	61.78	N50°00'00"E
Y2	124.36	N40°45'00"E
Y3	56.58	N07°45'00"E
Y4	100.00	N40°00'00"E
Y5	100.00	N40°00'00"E
Y6	100.00	N40°00'00"E
Y7	100.00	N40°00'00"E
Y8	100.00	N40°00'00"E
Y9	100.00	N40°00'00"E
Y10	100.00	N40°00'00"E
Y11	100.00	N40°00'00"E
Y12	100.00	N40°00'00"E
Y13	100.00	N40°00'00"E
Y14	100.00	N40°00'00"E
Y15	100.00	N40°00'00"E
Y16	100.00	N40°00'00"E
Y17	100.00	N40°00'00"E
Y18	100.00	N40°00'00"E
Y19	100.00	N40°00'00"E
Y20	100.00	N40°00'00"E
Y21	100.00	N40°00'00"E
Y22	100.00	N40°00'00"E
Y23	100.00	N40°00'00"E
Y24	100.00	N40°00'00"E
Y25	100.00	N40°00'00"E
Y26	100.00	N40°00'00"E
Y27	100.00	N40°00'00"E
Y28	100.00	N40°00'00"E
Y29	100.00	N40°00'00"E
Y30	100.00	N40°00'00"E

LINE	LENGTH	BEARING
Z1	100.00	N40°00'00"E
Z2	100.00	N40°00'00"E
Z3	100.00	N40°00'00"E
Z4	100.00	N40°00'00"E
Z5	100.00	N40°00'00"E
Z6	100.00	N40°00'00"E
Z7	100.00	N40°00'00"E
Z8	100.00	N40°00'00"E
Z9	100.00	N40°00'00"E
Z10	100.00	N40°00'00"E
Z11	100.00	N40°00'00"E
Z12	100.00	N40°00'00"E
Z13	100.00	N40°00'00"E
Z14	100.00	N40°00'00"E
Z15	100.00	N40°00'00"E
Z16	100.00	N40°00'00"E
Z17	100.00	N40°00'00"E
Z18	100.00	N40°00'00"E
Z19	100.00	N40°00'00"E
Z20	100.00	N40°00'00"E
Z21	100.00	N40°00'00"E
Z22	100.00	N40°00'00"E
Z23	100.00	N40°00'00"E
Z24	100.00	N40°00'00"E
Z25	100.00	N40°00'00"E
Z26	100.00	N40°00'00"E
Z27	100.00	N40°00'00"E
Z28	100.00	N40°00'00"E
Z29	100.00	N40°00'00"E
Z30	100.00	N40°00'00"E

LINE	LENGTH	BEARING
AA1	100.00	N40°00'00"E
AA2	100.00	N40°00'00"E
AA3	100.00	N40°00'00"E
AA4	100.00	N40°00'00"E
AA5	100.00	N40°00'00"E
AA6	100.00	N40°00'00"E
AA7	100.00	N40°00'00"E
AA8	100.00	N40°00'00"E
AA9	100.00	N40°00'00"E
AA10	100.00	N40°00'00"E
AA11	100.00	N40°00'00"E
AA12	100.00	N40°00'00"E
AA13	100.00	N40°00'00"E
AA14	100.00	N40°00'00"E
AA15	100.00	N40°00'00"E
AA16	100.00	N40°00'00"E
AA17	100.00	N40°00'00"E
AA18	100.00	N40°00'00"E
AA19	100.00	N40°00'00"E
AA20	100.00	N40°00'00"E
AA21	100.00	N40°00'00"E
AA22	100.	

SUBDIVISION PUBLIC REPORT (DISCLOSURE REPORT)

SUBDIVISION INFORMATION		
Legal Name: Montanas Del Sol		
Marketing Name: --		
Registration Number: DM25-062520	Effective Date: February 9, 2026	
Developer Name: Tula Lane, LLC, an Arizona limited liability company		
Developer Address: 11125 N. La Canada, Suite 201		
City: Tucson	State: Arizona	ZIP: 85737

PROPERTY REPORT DISCLAIMER

This report is not a recommendation nor an endorsement by the State of Arizona of this land. The public report reflects information provided by the subdivider and not all of the information in this report has been verified by the Department. Certain information has been accepted by the Department as true and accurate based on attestation of the subdivider or the subdivider’s agents. The purchaser should verify all facts before signing any documents. The Department assumes no responsibility for the quality of any improvement in this development.

The Arizona Department of Real Estate requires that:

- 1) You are given this public report.
- 2) You sign a receipt indicating that you received this report.

The Arizona Department of Real Estate recommends:

- 1) You do not sign any agreement before you have read this report.
- 2) You see the exact property you are interested in before signing any document for lease or purchase.

Arizona Law states:

- 1) The sale or lease of subdivided lands prior to issuance of this report or failure to deliver this report to you shall render the sale or lease rescindable by you. Action to rescind must be brought within 3 years from the date of execution of purchase agreement.
- 2) Contracts or agreements for the purchase of an unimproved lot (without a building) * may be rescinded by you without cause by sending or delivering written notice of rescission by midnight of the seventh calendar day following the signing.
- 3) If you have signed a purchase agreement for the purchase of an unimproved lot (without a building) * prior to inspecting the lot, you have six months to inspect and upon inspection may rescind the purchase agreement.

*A contract or agreement for purchase of a lot which includes a building or obligates the seller to complete construction of a building within two years from the contract date does not constitute the purchase of an unimproved lot. Therefore, if your purchase includes a lot and a building or a building to be built, you are not entitled to the rescission rights described in paragraphs 2 and 3.

GENERAL

This report includes: Lots 1 through 13

The map of this subdivision is recorded in Book 63 page 71, records of Pima County, Arizona.

The subdivision is approximately 75.433 acres in size. It has been divided into 48 lots and common areas A and B. Lot boundaries will be: Staked with rebar.

Location (location, city, county, state): 6017 N. Placita Sayal, Tucson, Arizona 85743. From I-10 and Cortaro Road, head west on Cortaro Road to W. Ina Road and turn right and then left onto North Wade Road. Stay on Wade Road which then turns into West Picture Road Road. Follow Picture Rocks Road to North Tula Lane Road and turn left. Follow to West Rudasil Road and turn right. Subdivision is located on the right.

You are advised to obtain a copy of the recorded map and correction documents, if any, and note all easements, restrictions, and statements contained therein.

UTILITIES

Electricity

Provider's Name: Trico Electric Co-op

Phone: 520-744-2944

Fees: Establishment fee is approximately \$50.00 plus tax and possible deposit of \$250.00 or letter of credit from previous provider. Deposit can be refunded after 1 year of good service. Monthly service fee will vary depending upon the electrical usage in the home.

Website: www.trico.coop

Costs and installation to complete the facility from the lot line to the dwelling is the responsibility of the purchasers. Estimated costs of completion from the lot line to a dwelling is approximately \$7,500.

Telephone

Provider's Name: For landline services as well as cellular services, there are various service providers and options. Purchase should contact the provider of their choice for the services provided and costs of the services.

Phone:

Fees: Establishment and monthly service fees vary depending upon the purchaser's needs and services available by the service provider. Purchasers should contact the service provides directly for the costs.

Website:

For landline services, purchaser is responsible for the costs to complete the facility from the lot line to the dwelling. Estimated costs of completion from the lot line to a dwelling is approximately \$7,500.

Cable

Provider's Name: Xfinity, CenturyLink, Hughesnet, Viasat, StarLink are listed providers in the Tucson area. Purchasers should contact the provider of their choice for service availability, choices for available services and the costs of the services.

Phone:

Xfinity – 1-800-934-6489
CenturyLink – 1-800-320-2794
Hughesnet – 1-877-272-0322

UTILITIES	
	Viasat - 1-833-440-3436 StarLink – 1-866-606-5103
<p>Fees: Establishment and monthly service fees vary depending upon the purchaser’s needs and services available by the service provider. Purchasers should contact the service provides directly for the costs.</p> <p>Costs of installation to complete the facility from the lot line to the dwelling is the responsibility of the purchases. Estimated costs of completion from the lot line to a dwelling is approximately \$7,500.</p>	<p>Website:</p> <p>Xfinity – www.xfinity.com CenturyLink – www.centurylink.com Hughesnet – www.hughesnet.com Viasat – www.viasat.com StarLink – www.satellitenternet.com</p>
Internet/Fiber Optic	
<p>Provider’s Name: Xfinity, CenturyLink, Hughesnet, Viasat, StarLink are listed providers in the Tucson area. Purchasers should contact the provider of their choice for service availability, choices for available services and the costs of the services.</p>	<p>Phone:</p> <p>Xfinity – 1-800-934-6489 CenturyLink – 1-800-320-2794 Hughesnet – 1-877-272-0322 Viasat - 1-833-440-3436 StarLink – 1-866-606-5103</p>
<p>Fees: Establishment and monthly service fees vary depending upon the purchaser’s needs and services available by the service provider. Purchasers should contact the service provides directly for the costs.</p> <p>Costs of installation to complete the facility from the lot line to the dwelling is the responsibility of the purchases. Estimated costs of completion from the lot line to a dwelling is approximately \$7,500.</p>	<p>Website:</p> <p>Xfinity – www.xfinity.com CenturyLink – www.centurylink.com Hughesnet – www.hughesnet.com Viasat – www.viasat.com StarLink – www.satellitenternet.com</p>
Natural Gas	
<p>Provider’s Name: There is no natural gas services available at the subdivision.</p>	<p>Phone: N/A</p>
<p>Fees: N/A</p>	<p>Website: N/A</p>
Water *see below for “subject to” provisions from Pima County DEQ	
<p>Provider’s Name: Avra Water Co-Op</p>	<p>Phone: 520-682-7331</p>
<p>Fees: Establishment fee of \$25, plus a \$100 deposit. Monthly service fees will vary depending upon the water usage on usage on the property.</p> <p>Costs of installation to complete the facility from the lot line to the dwelling is the responsibility of the purchases. Estimated costs of completion from the lot line to a dwelling is approximately \$7,500.</p>	<p>Website: www.avrawater.com</p>
Sewage Disposal *see below for “subject to” provisions from Pima County DEQ	
<p>Provider’s Name: Individual septic unit will need to be installed by the lot purchaser, including plumbing from home to tank, tank, leach fields and all required Pima County permits. The lot purchaser may contact a service provider of their choosing for options, pricing and detail</p>	<p>Phone:</p>

UTILITIES	
<p>needed for installing a septic system on the property.</p> <p>If an individual sewage disposal system cannot be installed, no refund of the purchase price of the lots will be made.</p>	
<p>Fees: Average costs of installation to complete a septic system is approximately \$20,000.</p>	<p>Website:</p>
Garbage Services *see below for subject to provisions Pima County DEQ	
<p>Provider's Name: Waste Management</p>	<p>Phone: 520-744-6173</p>
<p>Fees: There are no start up fees or delivery fees. Once a week pickup for both trash and recycling is approximately \$28.00 monthly.</p>	<p>Website: www.wm.com</p>
Additional	
<p>Subdivider will completed the extension of the utilities to the lot line by 12/31/2026.</p>	

Purchasers are advised to contact the above listed providers regarding extension rules, regulations, service connections, installation charges, account setup fees, and the costs involved. Costs are subject to change by the service providers.

* The sanitary facilities of water supply, sewage disposal and garbage disposal as represented by the approved plan documents on file with the Pima County Development Services are hereby approved subject to the following provisions:

1. If, at the time improvements are proposed on each individual lot, an on-site wastewater treatment facility cannot be constructed in accordance with the rules required at the time of development, the lot shall connect to a sewer conveyance system.
2. All lots will have individual on-site disposal systems designed in accordance with Arizona Administrative Code Title 18, Chapter 9, including percolation testing or soil evaluations performed in the area of any proposed primary and reserve leach field.
3. Any lots that cannot accommodate a conventional septic system will require and alternative on-site disposal system.
4. At the time of sale, the seller will disclose to the buyer that the on-site disposal system must be designed in accordance with Arizona Administrative Code Title 18, Chapter 9 and that an alternative on-site disposal system may be required.

The Certificate of Approval does not constitute an approval to construct the sanitary facilities to serve the subdivision. Construction must not begin until a certificate to construct has been issued by this department (ie: Pima County Department of Environmental Quality).

STREETS, ROADS, AND DRAINAGE

Access to the Subdivision

Access is: By Rudasil Road	<input checked="" type="checkbox"/> Public.
	<input type="checkbox"/> Private.
Status is:	<input checked="" type="checkbox"/> Complete.
	<input type="checkbox"/> Will be complete by:
Maintenance is provided by:	<input checked="" type="checkbox"/> City/County. Pima County
	<input type="checkbox"/> HOA.
Purchasers' costs are included in:	<input checked="" type="checkbox"/> Property Taxes.
	<input type="checkbox"/> HOA Assessments.

Access within the Subdivision

Access is: By Placita Sayal off of Rudasil Road	<input checked="" type="checkbox"/> Public.
	<input type="checkbox"/> Private.
Status is:	<input type="checkbox"/> Complete.
	<input checked="" type="checkbox"/> Will be complete by: Subdivider by 12/31/2026.
Maintenance is provided by:	<input checked="" type="checkbox"/> City/County. Pima County upon completion and acceptance.
	<input type="checkbox"/> HOA.
Purchasers' costs are included in:	<input checked="" type="checkbox"/> Property Taxes.
	<input type="checkbox"/> HOA Assessments.

Streetlights

Are: There are no street lights that will be provided in the subdivision.	<input type="checkbox"/> Complete.
	<input type="checkbox"/> Will be complete by:
Electricity is paid for by: N/A	<input type="checkbox"/> City/County.
	<input type="checkbox"/> HOA.
Purchasers' costs are included in: N/A	<input type="checkbox"/> Property Taxes.
	<input type="checkbox"/> HOA Assessments.

Flood and Drainage

State type of flood or drainage protection:	<input type="checkbox"/> Complete.
	<input checked="" type="checkbox"/> Will be complete by: Subdivider 12/31/2026.
Maintenance will be provided by:	<input type="checkbox"/> City/County.

STREETS, ROADS, AND DRAINAGE

Purchasers' costs are included in:	<input checked="" type="checkbox"/> HOA.
	<input type="checkbox"/> Property Taxes.
	<input checked="" type="checkbox"/> HOA Assessments.

Arizona State Trust Land

The Arizona State Land Department administers over 9.3 million acres of State Trust Land. This is not public land. Trust land may be subject to future development and may not be preserved or saved for open space without compensation.

A person must have prior approval to use State Trust Land. Temporary recreational use is allowed with certain restrictions and conditions through purchase of a recreational permit. Use of State Trust Land without proper approval is a trespass.

Many roads on rural trust lands are not legal travel routes, except for state lessees and hunters, and do not provide legal access to private land. State trust land may be sold or leased for uses which may exclude recreation. Recreation is a temporary use that may be terminated at any time.

For additional information, visit the State Land Department web page at land.az.gov, or call (602) 542-4631.

LOCAL SERVICES AND FACILITIES

Schools

Elementary School Name: Picture Rocks Elementary School (K-6)	Driving Distance: Approx. 4.5 miles west
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Elementary School Address: 5875 N. Sanders Road, Tucson, Arizona 85743

Transportation Provided: by Marana School District for students residing outside the school's designated walking distance. Purchasers should contact the schools or Marana School District at 520-682-3243 regarding the availability of school bus transportation, schedules and locations of pick-up and drop-off.	Elementary School Phone: 520-616-3700
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Middle School Name: Marana Middle School (7-8)	Driving Distance: Approx. 13 miles northeast
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Middle School Address: 11285 W. Grier Road, Marana, Arizona 85743

Transportation Provided: by Marana School District for students residing outside the school's designated walking distance. Purchasers should contact the schools or Marana School District at 520-682-3243 regarding the availability of school bus transportation, schedules and locations of pick-up and drop-off.	Middle School Phone: 520-682-4730
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High School Name: Marana High School (9-12)	Driving Distance: Approx. 6.5 miles north
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High School Address: 12000 W. Emigh Road, Marana, Arizona 85743

Transportation Provided: by Marana School District for students residing outside the school's designated walking distance. Purchasers should contact the schools or Marana School District at 520-682-3243 regarding the availability of school bus transportation, schedules and locations of pick-up and drop-off.	High School Phone: 520-616-6400
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LOCAL SERVICES AND FACILITIES	
Purchasers are advised that school boundaries and school bus transportation may change. You should contact the school district regarding the current location of schools and bus service.	
Shopping Facilities	
Name and address of nearest shopping facilities for food/water: Fry's Food & Drug, 7870 N. Silverbell Road, Tucson, Arizona 85743. Approx 8 miles west. At this location there are various other shopping facilities and service providers.	
Name and address of nearest shopping facilities for medical supplies: CVS 7740 N. Cortaro Road, Tucson, Arizona 85743. Approx 8 miles west. At this location there are various other shopping facilities and service providers.	
Public Transportation	
Provider's Name: Suntran	Phone: 520-792-9222
Website: www.suntran.com	Nearest pickup location and distance: N. Sandario Road and West Rudasil Road. Approx. 3 miles west.
Urgent Care Facility	
Name of Nearest Facility: NextCare Urgent Care Tucson	Address: 7850 N. Silverbell Road, Tucson, Arizona 85743
Phone: 520-407-5884	Distance: Approx 8 miles west.
Hospital	
Name of Nearest Facility: Northwest Medical Center	Address: 6200N. La Cholla Blvd., Tucson, Arizona 85741
Phone: 520-472-9000	Distance: Approx. 14 miles southwest.
Fire Protection	
Provider's Name: Picture Rocks Fire and Medical District	Purchaser's Cost: Included in property taxes.
Ambulance Services	
Ambulance Services are: Provided by Picture Rocks Fire and Medical District	<input checked="" type="checkbox"/> Available and can be requested by: calling 911
	<input type="checkbox"/> Not available.
Police Services	
Provider's Name: Pima County Sheriff's	

Locations and costs of the above services and facilities may change. You should verify their current locations and costs prior to purchase.

COMMON, COMMUNITY, AND RECREATIONAL FACILITIES	
Within the Subdivision	
State all common area amenities that are complete or will be completed: Natural Open Space and Drainage.	
Are: Natural Open Space and Drainage	<input type="checkbox"/> Complete.
	<input checked="" type="checkbox"/> Will be complete by: Subdivider by 12/31/2026.
Maintenance is provided by:	<input type="checkbox"/> City/County.
	<input checked="" type="checkbox"/> HOA.

COMMON, COMMUNITY, AND RECREATIONAL FACILITIES

Purchasers' costs are included in:	<input type="checkbox"/> Property Taxes.
	<input checked="" type="checkbox"/> HOA Assessments.

Within the Master Planned Community

State all common area amenities that are outside of this subdivision, but that are a part of the master community and can be used by the residents of this subdivision: The subdivision is not within a master planned community.

Are: N/A	<input type="checkbox"/> Complete.
	<input type="checkbox"/> Will be complete by:

Maintenance is provided by: N/A	<input type="checkbox"/> City/County.
	<input type="checkbox"/> HOA.

Purchasers' costs are included in: N/A	<input type="checkbox"/> Property Taxes.
	<input type="checkbox"/> HOA Assessments.

Purchasers' costs are included in: N/A	<input type="checkbox"/> Property Taxes.
	<input type="checkbox"/> HOA Assessments.

Purchasers' costs are included in: N/A	<input type="checkbox"/> Property Taxes.
	<input type="checkbox"/> HOA Assessments.

ASSURANCES FOR COMPLETION OF IMPROVEMENTS

Assurances for Completion of Subdivision Facilities

If the subdivision improvements are not complete, then state the assurances that are currently in place for the completion of the subdivision improvements (e.g., Occupancy Clearance Agreement, Performance Bond, Letter of Credit, etc.):

Recorded Assurance Agreement between Subdivider and Pima County. Subdivider will complete the improvements to the lot lines by 12/31/2026.

Assurance for Maintenance of Subdivision Facilities

State what provisions are in place as assurance that the improvements will be maintained: The maintenance of the common areas will be the responsibility of the Homeowners Association created by the Articles of Incorporation and is governed by the Bylaws and the recorded declaration of Covenants, Conditions and Restrictions for Montanas Del Sol Homeowner's Association, with costs included in the homeowner association fees. The various utility companies will maintain each of their facilities, and Pima County will maintain the public improvements.

PROPERTY OWNERS' ASSOCIATION(S)

Name and Assessments

Name of the HOA: Montanas del Sol Homeowners Association	Current Assessments: \$120 annually.
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Payment frequency: <input type="checkbox"/> Monthly <input type="checkbox"/> Quarterly <input type="checkbox"/> Semi-Annually <input checked="" type="checkbox"/> Annually	Type: <input checked="" type="checkbox"/> Master HOA <input type="checkbox"/> Sub-HOA
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PROPERTY OWNERS' ASSOCIATION(S)

Control of Association

This information is usually taken from the recorded CC&Rs, from the period of Declarant control, as to how the control of the association will be turned over to the residents. Control of the Association will be turned over to the lot purchasers upon the earlier of: (I) the date on which the Declaration no longer owns any lots within the project; (II) the date which is ten (10) years after the recording of the Declaration; or (III) when the Declarant notifies the Association in writing that it relinquishes its Class B membership.

Title to Common Areas

When and under what conditions will title to the common areas be transferred to the city/county or HOA: Title to the common areas will be conveyed to the Montanas Del Sol Homeowners Association upon completion of the improvement and acceptance by the HOA.

Are the common areas subject to any lien or encumbrance and if so, explain how purchasers' use will be protected in the event of default: Subdivider will convey the property to the HOA free and clear of any liens or encumbrances.

Membership

Who will be members of the HOA: All lot owners. There will be no non-members.

Payments to property owners associations are subject to change in accordance with recorded restrictions. Said association may also impose special assessments.

SUBDIVISION CHARACTERISTICS

Topography

Describe physical characteristics of the land (e.g., level, hilly, rocky, loose soil, washes, arroyos, canyons, etc.): Terrain is flat to hilly with surface drainage in all directions as sheet flow into washes approximately 10 feet wide and 5 feet deep.

Flooding and Drainage

State whether the subdivision is subject to any known flooding or drainage problems or downstream from any existing flood structure/dam: None known.

Restate the information from the engineer's Flood Letter for the subdivision and date:

In a letter from Michael John Baker, P.E. of Baker & Associates Engineering, Inc., dated December 1, 2024, cites in part:

A Drainage Report for the subdivision was prepared by the Engineer, submitted to and approved by the Pima County Regional Flood Control District. This report has determined that Montanas del Sol, Lots 1 through 13 is not in a designated FEMA flood zone per map #04019C1650L, effective date June 16, 2011, and the proposed building sites for lots 1 – 13 of Montanas del Sol will be free from 100-year flooding when construction for the subdivision is completed in accordance with the approved Drainage Report and Improvement Plans.

As the lots lie outside of a designated regulatory FEMA designated flood zone, it is our understanding that flood insurance may not be required by FEMA, but may be required by public or private lending institutions or other parties.

Soils

SUBDIVISION CHARACTERISTICS

State whether the subdivision lots are subject to subsidence or expansive soils:

Evaluation of the site soils showed sands with varying amounts of silt, clay, gravel, and cobbles. Soils are expansive. Post-tensioned or reinforced-mat foundation and slab system are suggested as an alternative to a conventional foundation with a slab on grade. The structural systems must be designed by a Structural Engineer, who should specify the concrete strength, concrete strength required for post tensioning, required thicknesses of elements, post-tensioning force, and expected post tensioning cable elongation. It is recommended that designers, contractors, and owners follow the recommendations within the Soils Report.

Restate the Executive Summary information from the soils report and date:

In the soils report by Ralph M. Pattison, P.E., Principal of Pattison, Evanoff Engineering, LLC, dated January 17, 2007, cites in part:

In our opinion, the site's subsurface soil conditions are suitable for the proposed subdivision provided the report's recommendations are followed. Our evaluation showed sands with varying amounts of silt, clay, gravel, and cobbles. The soils conditions and specific recommendations are presented in the report.

A complete copy of the soils report is on file with the Subdivider.

Adjacent Lands and Vicinity

State the zoning codes and definition for the adjacent lands:

North is GR-1: Rural Residential Zone

South is RH: Rural Homestead Zone; and IR: Institutional Reserve Zone (Saguaro National Park)

East is RH: Rural Homestead Zone; and IR: Institutional Reserve Zone (Saguaro National Park)

West is GR-1: Rural Residential Zone

Note: Owners of adjacent lands described above may seek to rezone their property, may seek zoning variances for their property or may modify their site plan within existing zoning. Consequently, no assurance can be given that the zoning or uses for adjacent lands will not change from that described above. Purchasers should contact Pima County with any questions regarding the zoning of adjacent land and its use.

Purchasers are advised that the subdivision is situated in the desert where native wildlife exists. During periods of construction activity, it is common for desert wildlife to actively migrate away from the development area. There are wildlife animals known to inhabit the area, such as birds, coyotes, bobcat, deer, mountain lions, and javalinas. Such animals may enter upon the residential properties and may present danger to persons and pets. Cockroaches, rattlesnakes, black widow spiders, scorpions, and other pest and animals are common in parts of Arizona. Fortunately, most pest can be controlled with pesticides. Scorpions, on the other hand, may be difficult to eliminate. If a buyer has concerns, he or she should seek the advice of a pest control company.

Describe any existing or proposed land uses adjacent to and within a two (2) mile radius, including American Indian reservation lands within five (5) miles:

North is Rural Residential single family residential and vacant property.

South is Rural Homestead and the Saguaro National Park

East is Rural Homestead and the Saguaro National Park

West is Rural Residential single family residential and vacant property

Describe any natural gas pipelines within 500 feet of the subdivision boundaries: There are no existing gas pipelines within the boundary of the subdivision lots.

State if there are any existing or proposed high voltage power lines (115kv or greater) or any existing proposed

SUBDIVISION CHARACTERISTICS

substations (115kv or greater) within the boundary of the subdivision or within ½ miles of the subdivision boundary: There are no existing or proposed high voltage power lines (115kv or greater) or any existing or proposed substation (115kv or greater) within the boundary of the subdivision lots or with ½ miles of the subdivision boundary.

Purchasers are advised that utility providers maintain generating plants throughout the areas that they service. Purchasers should contact the utility provider for further information regarding any changes to existing facilities or any new facilities that might be planned in the vicinity of the subdivision.

INFORMATION ON A PROPOSED OR EXISTING TRANSMISSION LINE AND SUBSTATION MAY BE AVAILABLE FROM THE ARIZONA CORPORATION COMMISSION OR FROM THE UTILITY COMPANY IN ADDITION TO THE ABOVE DISCLOSED INFORMATION, BUYER SHOULD CONTACT THE UTILITY COMPANY FOR FURTHER AVAILABLE INFORMATION WHICH MAY INCLUDE STRUCTURE HEIGHTS, SCHEMATICS OR WHAT THE STRUCTURES WILL LOOK LIKE AND CONSTRUCTION SCHEDULES.

State if all or any portion of the subdivision is located in an open range or area in which livestock may roam at large under the laws of this state and what provisions, if any, have been made for fencing of the subdivision to preclude livestock from roaming within the subdivided lands:

No portion of the subdivision is located in an open range or area in which livestock may roam at large.

SUBDIVISIONS USE AND RESTRICTIONS

Use

This offering is for (Vacant Lot, Lot with Dwelling, etc.):
Vacant lots.

Zoning (Single Family, Multi-Family, etc.):
Single family.

Conditions, Reservations, and Restrictions

Give full disclosure of other conditions or provisions which may limit the use or occupancy of the property offered in this application:

The use of the property may be limited by zoning and other governmental planning and subdivision documentation, the CC&R's and easements, as recorded in the public records of Pima County, and any other documents of record affecting the property, such as articles of incorporation and bylaws of the Association, Association Rules, Architectural Control Committee Rules and Guidelines established the Montanas del Sol Homeowners Association, Inc., and any other zoning requirements that Pima County may impose.

Restrictions and Other Matters of Record

Conditions, reservations, and restrictions that may run with the land including City or County zoning restrictions should be investigated by you. Copies of those items which are recorded may be inspected at the Office of the Pima County Recorder. Information about zoning may be obtained at the Office of the Pima County Planning and Zoning Department. Restrictions are recorded as cited in the following title exceptions and per the subdivision plat.

Condominium Conversion

State whether the condominium is conversion from multi-family rental to condominiums:
Not applicable. Sales are for unimproved (vacant) lots.

AIRPORTS

Military Airport

State the name and location of the military airport in the vicinity as defined in A.R.S. 28-8461, if applicable. If applicable, the disclosure identified under A.R.S. 32-2183 (A) must be included on the first page of this report in bold twelve point font block letters with a copy of the airport map as an exhibit at the end of this report.

This subdivision is not in location of the military airport in the vicinity as defined in A.R.S. 28-8461. Though the airports are not within the vicinity, aircraft noise may occasionally be heard when aircraft passes in the vicinity of the subdivision.

Davis Monthan Air Force Base is located approximately 23 miles southeast of the subdivision.

The Army National Guard Aviation Training Site is located approximately approx. 13 miles northwest of the subdivision within the Pinal Air Park Site.

Aircraft noise may occasionally be heard when aircraft passes in the vicinity of the subdivision.

Public Airport

State the name and location of the public airport in the vicinity as defined in A.R.S. 28-8486, if applicable:

This subdivision is not in location of the public airport in the vicinity as defined in A.R.S. 28-8486. Though the airports are not within the vicinity, aircraft noise may occasionally be heard when aircraft passes in the vicinity of the subdivision.

Tucson International Airport, 7250 S. Tucson Blvd., 520-573-8100, is approximately 23 miles southeast of the subdivision.

Marana Northwest Regional Airport, formerly known as Avra Valley Airport, 11700 W. Avra Valey Road, Marana, Arizona is located approximately 6 miles north of the subdivision.

La Cholla Airpark, 1777 W. Cessna Way, Oro Valley, Arizona located approximately 14 miles northeast of the subdivision.

Airport

State the closest airport to the subdivision:

Tucson International Airport, 7250 S. Tucson Blvd., 520-573-8100, is approximately 23 miles southeast of the subdivision.

TITLE

Title to this subdivision is vested in: Fidelity National Title Agency, Inc., an Arizona corporation, as Trustee under Trust No. 60,294.

Subdivider’s interest in this subdivision is evidenced by: 100% beneficial interest in Fidelity National Title Agency, Inc.’s Trust 60,294, as recorded in Declaration of Trust and Affidavit docket 12894, page 3078, September 21, 2026, records of Pima County Recorder’s Office, Pima County, Arizona.

Title is subject, among other things, to all taxes, assessments, covenants, conditions, restrictions, limitations, reservations, rights, obligations, powers, easements, rights of way, liens, and charges of record. You should investigate the title and satisfy yourself as to what effect, if any, these matters may have on the use of the land. Title exceptions affecting the condition of title are listed in the Preliminary Title Report dated January 26, 2026, issued by Fidelity National Title Agency, Inc.. You should obtain a title report and determine the effect of the listed exceptions.

Exceptions: See Exhibit “A” Attached.

METHOD OF SALE OR LEASE

Sales

State how sales will be made and conveyance to purchasers will be made. Include the name and business address of the broker contracted with the Developer. If none, explain why:

Sales of lots are by licensed real estate agents/brokers under KC Woods, Designated Broker Long Realty Company, 900 E. River Road., Tucson, Arizona 85718.

Sales will be made by purchase contract with title being conveyed by Special Warranty Deed at close of escrow. Purchaser will take title at close of escrow.

Earnest money and downpayment deposits will be held by a Title Company in a neutral escrow account.

Release of Liens and Encumbrances

State all liens and encumbrances recorded against the property and if there are any unrecorded liens: Purchaser of a lot will receive title fee and clear of all liens and encumbrances.

Use and Occupancy

When will purchasers be able to use and occupy their lot/unit? Upon close of escrow and recordation of the Special Warranty Deed.

Leasehold Offering

Will any of the property be leased? Yes No

The purchase contract is a binding agreement. Contrary to the terms and provisions of the contract, you may have additional rights, remedies, and warranties provided by law. Read thoroughly before signing. If not understood, seek competent advice prior to commitment to purchase.

TAXES AND ASSESSMENTS

Real Property Taxes

The combined primary and secondary property tax rate for this subdivision for the year 2025, is 16.2841 per \$100.00 assessed valuation. The estimated property tax for an improved lot (lot with dwelling), based on the above tax rate and average sales price of N/A, is N/A. The estimated property tax for an unimproved lot (vacant) based on the above tax rate and average sales price of \$800,000, is 12,000.

Special District Tax or Assessments: There are no special district taxes or assessments at this time.

Central Arizona Ground Water Replenishment District (CAGRDR)

The subdivision is enrolled as a Member Land of the Central Arizona Groundwater Replenishment District ("CAGRDR") pursuant to A.R.S. §48-3772 and 48-3774. The CAGRDR is managed and operated by the Central Arizona Water Conservation District ("CAWCD"), which manages and operates the Central Arizona Project. The CAGRDR is obligated by statute to replenish the excess groundwater delivered to its members' by the municipal water provider. CAGRDR is required to levy an annual replenishment assessment against each parcel of Member Land to pay its replenishment costs and expenses, pursuant to A.R.S. §48-3778. The replenishment assessment is not included in the tax estimates given above. A parcel's replenishment assessment is based on an assessment rate established annually by the CAWCD Board of Directors, multiplied by the actual volume of excess groundwater reported to be delivered to the parcel in the previous year. Therefore, a parcel's replenishment assessment will vary from year to year and will likely increase over time. The assessment is included in each parcel owner's annual property tax statement and is collected by the County Treasurers Office. For further information, you may contact CAGRDR at (623) 869-2243 or visit their website at www.cagrdr.com.

TAXES AND ASSESSMENTS

CAGR D FPN Number: ML1122-20251112-01

Amount of taxes and assessments set forth above are approximate only and subject to change.

You are advised to read the recorded declaration of (covenants, conditions, and restrictions), articles of incorporation, declaration of condominium, bylaws for this subdivision to determine the rights of lot/unit owners to participate in the control of the property owner's association and to determine the rights, duties, and limitations of owners in and to use of their lots/units. Further, you should determine for yourself if the subdivider's arrangements and plans for the payment of assessments on unsold lots/units will be sufficient to fulfill the needs, demands, and financial obligations of the association, as set forth in the declaration and bylaws.

Exhibit A

Title Exceptions

Title Report exceptions listed below:

Fidelity National Title Insurance Company reports that Title Instruments, on the date hereof, disclose:

1. Ownership of the interested is [vested in](#): Fidelity National Title Agency, Inc., an Arizona corporation, as Trustee under trust No. 60,294, and not in its corporate capacity

2. The following defects, liens and encumbrances (which are not necessarily shown in their order of priority) against the Interest:

1. Property taxes, which are a lien not yet due and payable, including any assessments collected with taxes to be levied for the year 2025.
2. Reservations contained in the Patent

From: The United States of America
Recording No: [Book 218 of Deeds, page 201](#)

Which among other things recites as follows:

Subject to any vested and accrued water rights for mining, agricultural, manufacturing, or other purposes and rights to ditches and reservoirs used in connection with such water rights, as may be recognized and acknowledged by the local customs, laws and decisions of the courts, and the reservation from the lands hereby granted, a right of way thereon for ditches or canals constructed by the authority of the United States.

3. Reservations contained in the Patent

From: The United States of America
Recording No: [Docket 1275, page 396](#)

Which among other things recites as follows:

Subject to any vested and accrued water rights for mining, agricultural, manufacturing, or other purposes and rights to ditches and reservoirs used in connection with such water rights, as may be recognized and acknowledged by the local customs, laws and decisions of the courts, and the reservation from the lands hereby granted, a right of way thereon for ditches or canals constructed by the authority of the United States.

4. Water rights, claims or title to water, whether or not disclosed by the Public Records.

5. Any rights, liens, claims or equities, if any, in favor of Central Arizona Water Conservation District.
6. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Purpose: electrical
Recording Date: June 28, 1973
Recording No: [Docket 4543, page 449](#)
7. Matters contained in that certain document

Entitled: Agreement
Recording Date: March 10, 1976
Recording No: [Docket 5222, page 662](#)
Reference is hereby made to said document for full particulars.
8. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Purpose: ingress and egress
Recording Date: June 9, 1977
Recording No: [Docket 5543, page 100](#)
9. Matters contained in that certain document

Entitled: Avra Water Coop Service Area
Recording Date: August 24, 1999
Recording No: [Docket 11117, page 710](#)
Reference is hereby made to said document for full particulars.
10. A resolution in favor of Pima County

For: Franchise Authorization
Recording Date: April 22, 2005
Recording No: [Docket 12537, page 2210](#)
11. Matters contained in that certain document

Entitled: Membership in the Central Arizona Groundwater Replenishment District
Recording Date: May 24, 2007
Recording No: [Docket 13062, page 2415](#)
Reference is hereby made to said document for full particulars.

12. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, gender, gender identity, gender expression, medical condition, or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document Recording No: [Docket 13062, page 2426](#)
13. Matters contained in that certain document
Entitled: Certificate of Assured Water Supply
Recording Date: January 17, 2008
Recording No: [Docket 13224, page 1](#)
Reference is hereby made to said document for full particulars.
14. Easements, covenants, conditions and restrictions as set forth on the plat recorded in [Book 63 of Maps, Page 71](#).
15. Matters contained in that certain document
Entitled: Assurance Agreement for Construction
Recording Date: May 27, 2008
Recording No: [Docket 13314, page 464](#)
Reference is hereby made to said document for full particulars.
16. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, gender, gender identity, gender expression, medical condition, or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document Recording No: [Docket 13314, page 470](#)
17. Matters contained in that certain document
Entitled: Notice of Consent
Recording Date: May 27, 2008
Recording No: [Docket 13314, page 500](#)
Reference is hereby made to said document for full particulars.
18. Please be advised that our search did not disclose any open Deeds of Trust of record.

Tax Note:
Year: 2025
[Tax Parcel No: 213-18-0320](#)
Total Tax: \$201.91
First Installment Amount: PAID
Second Installment Amount: \$117.71

Year: 2025
[Tax Parcel No: 213-18-0330](#)
Total Tax: \$201.91
First Installment Amount: PAID
Second Installment Amount: \$117.71

Year: 2025
[Tax Parcel No: 213-18-0340](#)
Total Tax: \$201.91
First Installment Amount: PAID
Second Installment Amount: \$117.71

Year: 2025
[Tax Parcel No: 213-18-0350](#)
Total Tax: \$201.91
First Installment Amount: PAID
Second Installment Amount: \$117.71

Year: 2025
[Tax Parcel No: 213-18-0360](#)
Total Tax: \$201.91
First Installment Amount: PAID
Second Installment Amount: \$117.71

Year: 2025
[Tax Parcel No: 213-18-0370](#)
Total Tax: \$201.91
First Installment Amount: PAID
Second Installment Amount: \$117.71

Year: 2025
[Tax Parcel No: 213-18-0380](#)
Total Tax: \$201.91
First Installment Amount: PAID
Second Installment Amount: \$117.71

Year: 2025
Tax Parcel No: 213-18-0390
Total Tax: \$201.91
First Installment Amount: PAID
Second Installment Amount: \$117.71

Year: 2025
Tax Parcel No: 213-18-0400
Total Tax: \$201.91
First Installment Amount: PAID
Second Installment Amount: \$117.71

Year: 2025
Tax Parcel No: 213-18-0410
Total Tax: \$201.91
First Installment Amount: PAID
Second Installment Amount: \$117.71

Year: 2025
Tax Parcel No: 213-18-0420
Total Tax: \$201.91
First Installment Amount: PAID
Second Installment Amount: \$117.71

Year: 2025
Tax Parcel No: 213-18-0430
Total Tax: \$201.91
First Installment Amount: PAID
Second Installment Amount: \$117.71

Year: 2025
Tax Parcel No: 213-18-0440
Total Tax: \$201.91
First Installment Amount: PAID
Second Installment Amount: \$117.71

3. The following matters are disclosed by name only and the Company, without additional information, is unable to determine whether any or all of these matters are defects, liens or encumbrances against the Interest:

2/9/2026

Tula Lane LLC
11125 N. La Canada Dr., Suite 201
Oro Valley, AZ 85737

RE: CERTIFICATE OF ADMINISTRATIVE COMPLETENESS **Subdivision**
Registration No. DM25-062520

CONGRATULATIONS!

This letter is to acknowledge receipt of your application for a disclosure report and to certify it as administratively complete in accordance with the provisions of A.R.S. §32-2183(B). The date of this letter is the effective date of your disclosure report. Please place the effective date and registration number provided above on each disclosure report. You are authorized to sell the following described property:

**Lots 1 – 13, within
Montanas del Sol
in Pima County, State of Arizona.**

The Department has not subjected your application and disclosure report to a detailed examination. Acceptance of this material as meeting all requirements is based solely on your affirmation that the material submitted is full, true, complete and accurate. **In the event that a subsequent examination reveals any omission, inaccuracy, misrepresentation, fraudulent statement or failure to comply with statutory standards for subdivisions, the Department may suspend further sales, order rescission offers for completed sales, and you or the subdivision may be subject to administrative enforcement action and penalties or sanctions.**

If a change occurs in any of the information or representations provided in the application or disclosure report, an amendment to the application and disclosure report must be filed with appropriate fees before making further sales. **Any use of an inaccurate disclosure report in making sales may require you to rescind such sales and may result in administrative penalties and sanctions.**

As a reminder, a receipt for the disclosure report must be obtained from each purchaser and retained by you for five years. Enclosed is a copy of the Department's published receipt form, which must be used.

Sincerely,

Jay DeArrastia

Jay DeArrastia
Development Services Specialist

Enclosures

STATE OF ARIZONA RESCISSION RIGHTS

ARIZONA REVISED STATUTE §32-2185.01(D) PROVIDES THE PURCHASER OR LESSEE OF AN UNIMPROVED LOT OR PARCEL THE LEGAL RIGHT TO RESCIND WITHOUT CAUSE OF ANY KIND BY SENDING OR DELIVERING WRITTEN NOTICE OF RESCISSION BY MIDNIGHT OF THE 7TH CALENDAR DAY FOLLOWING THE DAY ON WHICH THE PURCHASER OR LESSEE HAS EXECUTED A CONTRACT OR PURCHASE AGREEMENT. NOTICE MUST BE GIVEN TO THE DEVELOPER.

ARIZONA REVISED STATUTE §32-2185.01(E) PROVIDES THAT IF THE PURCHASER OR LESSEE OF AN UNIMPROVED LOT OR PARCEL HAS NOT INSPECTED THE LOT OR PARCEL PRIOR TO THE EXECUTION OF THE PURCHASE AGREEMENT, THE PURCHASER SHALL HAVE A SIX-MONTH PERIOD AFTER THE EXECUTION OF THE PURCHASE AGREEMENT TO INSPECT THE LOT OR PARCEL AND AT THE TIME OF THE INSPECTION HAVE THE RIGHT TO UNILATERALLY RESCIND THE PURCHASE AGREEMENT. AN AFFIDAVIT MUST BE SIGNED BY THE PURCHASER AT THE TIME OF INSPECTION AND RETAINED BY THE DEVELOPER.

REQUIRED RECEIPT OF PUBLIC REPORT

The owner, agent or developer of this development shall furnish you, as a prospective customer, with a copy of the Public Report. It is recommended that you read the report before you make any written offer to purchase or lease an interest in the development, and before you pay any money or other consideration toward the purchase or lease of an interest in the development.

FOR YOUR PROTECTION, PLEASE DO NOT SIGN THIS RECEIPT UNTIL YOU HAVE RECEIVED A COPY OF THE REPORT AND HAVE HAD THE OPPORTUNITY TO READ IT. BY SIGNING THIS RECEIPT THE BUYER HAS ACCEPTED THE PUBLIC REPORT AND ACKNOWLEDGES THE INFORMATION IT CONTAINS.

Montanas del Sol
Development Name

--N/A--
Marketing Name

DM25-062520 _____
Public Report Registration Number Lot Number

I understand that the report is not a recommendation or endorsement of the development by the Arizona Department of Real Estate, but is for information only.

Buyer's Printed Name Current Address

Buyer's Signature Date

Buyer's Printed Name Current Address

Buyer's Signature Date

ACCEPTED

**GEOTECHNICAL ENGINEERING
CONSTRUCTION INSPECTION
MATERIALS TESTING**

GEOTECHNICAL PAVEMENT EVALUATION

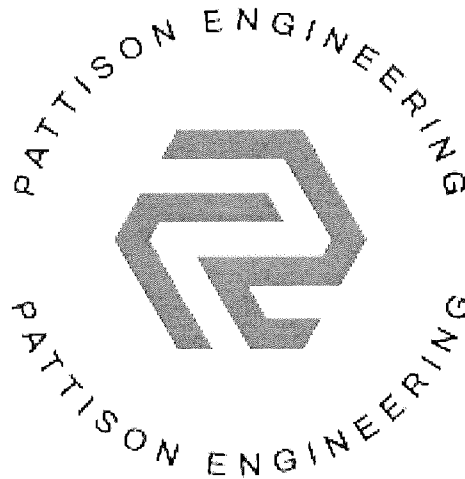
Montana Del Sol

Tula Lane and Picture Rocks Road
Pima County, Arizona

PATTISON ENGINEERING, LLC
Project Number 24-075

Prepared for: Tula Lane LLC

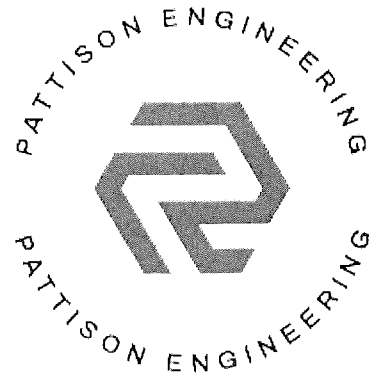
February 28, 2025



February 28, 2025

Project Number 24-075

Tula Lane, LLC
Attn: Sanjay Madhvani



GEOTECHNICAL PAVEMENT EVALUATION

Montana Del Sol, Addendum 2
Tula Lane and Picture Rocks Road
Pima County, Arizona

We have completed the pavement evaluation for the proposed Montana Del Sol proposed subdivision.

In our opinion, the site's subsurface soil and other conditions are suitable for support of the proposed pavement provided the designers, contractors, and owners follow the report recommendations. Our evaluation showed clayey sand and silty clayey sand. We expect the subsurface and underlying soils to provide suitable support for pavements provided that these soils do not experience dramatic moisture increases. The general soil conditions and specific recommendations are presented in the report.

We thank you for selecting PATTISON ENGINEERING, L.L.C. and look forward to being a member of your team on the remainder of this project. If you have any questions about this report, or require additional consultation, please call us.

Sincerely,

PATTISON ENGINEERING, L.L.C.

Geotechnical, Construction Inspection, and Materials Testing Services



Francisco J. Jacinto, P.E.
Managing Principal



Guillermo M. Marquez, P.E.
Principal

Copies: Addressee (1) e-mail

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INTRODUCTION

Pattison Engineering LLC previously prepared a geotechnical engineering evaluation for this development. We have been requested to provide updated pavement section recommendations that comply with new Pima County Standards, and also infiltration rates for two proposed basins. This report presents the results of our geotechnical pavement evaluation for the proposed Montana Del Sol subdivision. The site is Section 12, Township 13 South, Range 11 East, of the Gila and Salt River Base and Meridian in Pima County, Arizona. The Site Plan in the Appendix shows the location of the site.

We obtained information on site soil conditions, performed field and laboratory testing, and geotechnical engineering analyses. This report presents our conclusions and recommendations regarding the engineering properties of the soils encountered and their relationship to the proposed development. Specifically, the report addresses the following information:

- General site and subsurface conditions encountered during our evaluation.
- Recommendations for flexible pavement section
- Infiltration rates for proposed basins

The Appendix contains the results of field explorations and tests and provides a site plan showing the exploration locations.

Project Information

As part of the development of the proposed Montana De Sol Subdivision pavement section construction will be required. The pavement design must follow the latest Pima County Subdivision and Development Street Standards. In addition, infiltration tests will be required within the proposed retention basins

Evaluation and Testing

To obtain information on the conditions at this site and to determine applicable soil properties, we completed an on-site evaluation. The extent of our evaluation and testing programs is described in the following section.

Field Evaluation

We reviewed the site to obtain information on the general surface conditions. On September 4, 2024, we observed the excavation of 3 test pits to depths of 5 feet below



existing site grade. In addition, infiltration testing was performed within the proposed basins. The site plan shows the approximate exploration locations.

During the field exploration, the subsurface conditions were described, and the encountered soils were sampled visually classified and logged. We used the Unified Soil Classification System to classify soils. The soil classification symbols appear on the exploration logs and are briefly described in the Appendix.

Laboratory Evaluation

We performed laboratory analyses on soil samples to aid in material classification and estimate pertinent engineering properties of the on-site soils. We performed the tests in general accordance with applicable ASTM standards. The Appendix contains our laboratory test results.

Infiltration Testing

Based on the information provided to us, the proposed basins are located at two locations throughout the proposed landscape areas. The tests were performed in 12-inch-diameter, single-ring infiltrometers with about 1 foot of head, until stabilized rates were obtained. The test results are provided in the following table.

INFILTRATION RESULTS		
Test No.	Depth, ft	Approximate Stabilized Rate of Infiltration, min./in.
1	3	11
3	3	12

The rates measured at the time of infiltration testing are based on soil conditions at the depth and locations indicated. The actual rates of constructed detention/retention basins may vary significantly because of the following factors: location and depth of basin compared to the infiltration tests conducted at the time of field exploration; type of cover in detention/retention basin bottom (grass, rock, etc.); degree of compaction of the detention/retention basin bottom; placement of fill in the detention/retention basin; and the amount and type of sediment deposited in the basin during storm events. The results do not include any factors of safety or de-rating factors.



Flexible Pavement Section

We determined our recommended pavement section in accordance with the “Modifications to the Pima County Roadway Design Manual, adopted April 2016” (MPCRDM, 2016). The following sections provide details of our design.

Determination of Design Weighted R-Value

We determined a Design Weighted R-Value from the soil laboratory data from near-surface soil samples taken from proposed access roadway area within this project site. As required in the MPCRDM, 2016, we determined correlated R-Values based upon the percent passing #200 sieve and plasticity index tests from these samples using the equation: $\log R\text{-Value at } 300 \text{ psi} = 2.0 - 0.006 (\text{pass } 200) - 0.017 (\text{PI})$.

We further corrected the correlated R-Values (R_c) according to the Pima County correlated R-Value (R_{pc}) correlation: $R_{pc} = 0.3(R_c)^{1.2}$. We also had Laboratory Tested R-Value tests performed on six samples as required in the MPCRDM, 2016.

The following table is a summary of the soils and laboratory testing:

Sample Location	Depth (ft)	USCS Soil Class	% Minus #200	Plasticity Index	PC Correlated R-Value	Laboratory R-Value ¹
B-1	0-5	SM-SC	49.3	4	28	7
B-2	0-5	SM	16.5	0	57	51
B-3	0-5	SC-SM	45.3	4	29	13

1. Performed by Terracon; laboratory data attached.

The calculated design R-Value was determined from the Pima County correlated R-Values and Laboratory Tested R-Values as shown in the following table:



	PC Correlated R-Values	Laboratory R-Values
Mean	38.1	23.7
Standard Deviation	16.7	23.9
Number of Tests	3	3
Adjusted R- Value *	31.5*	9.8*
Rmean **	28.8	

*adjusted due to standard deviation greater than 10

**The adjusted correlated and tested R-values were used to determine the Rmean.

$$1. \quad R_{mean} = \frac{N_t R_t \sigma_c^2 + N_c R_c \sigma_t^2}{N_t \sigma_c^2 + N_c \sigma_t^2}$$

Where: N_t = number of actual (laboratory tested) R-Values

N_c = number of correlated R-Values (PC Adjusted Correlated R-Values)

R_t = mean of the actual (laboratory tested) R-Values

R_c = mean of the correlated R-Values (PC Adjusted Correlated R-Values)

σ_t = standard deviation of the actual (laboratory tested) R-Values

σ_c = standard deviation of the correlated R-Values (PC Adjusted Correlated R-Values)

Determination of Resilient Modulus

Using a Seasonal Variation Factor of 1.7 for this area and a Calculated Weighted R-Value of 28.8, we determined a Resilient Modulus (M_r) of 12,489 psi. This was determined from the equation:

$$M_r = \frac{1815 + 225(\text{Design R-Value}) + 2.40(\text{Design R-Value})^2}{0.6(\text{Seasonal Variation Factor})^{0.6}}$$

Determination of Design and Construction Control R-Value

We chose a Design and Construction Control R- Value of 28.8 for this project.



Traffic Assumptions

The proposed subdivision roadway classification will be local streets (less than 1,000 ADT) and collector streets (1,000 to 2,500 ADT). For cul-de-sacs 100,000 ESALS's were used for the design per Pima County Standards.

Minimum Requirements

Based on 2016, Pima County Subdivision and Development Street Standards, the minimum thickness of asphalt concrete (AC), aggregate base course (ABC), and the minimum structural number (SN) for this project are provided in the table below:

	Local Streets	Cul-de-Sac	Collector
Minimum AC Thickness (in.)	2.5	3	3
Minimum ABC Thickness (in.)	4	4	4
Minimum Design SN	1.49	1.75	1.75

Pavement Section Recommendations

We used surfacing and base coefficients of 0.44 for AC and 0.11 (0.12 times a drainage coefficient of 0.92) for ABC to determine our recommended pavement section. The recommended pavement section is provided on the following table.

PAVEMENT SECTION	ASPHALT CONCRETE, in.	BASE COURSE, in.	STRUCTURAL NUMBER
Montana Del Sol (Local Street)	3	4	1.76
Montana Del Sol (Collector Street)	4	4	2.20
Montana Del Sol (cul-de-sac)	3	5	1.87



We should be consulted for possible supplemental recommendations if additional information showing the amounts and types of traffic becomes available. Bituminous surfacing should be dense-graded, central-plant-mix, asphalt concrete. Base course and asphalt concrete should conform to Pima County specifications.

Flexible Pavement Design Analysis

Design Criteria

PROJECT DATA

Pavement Designation	Montana Del Sol-Local
Design Life (years)	20
Equivalent Axle Loads/Day	**
Total EAL's	74,898
Seasonal Variation Factor	1.7
Reliability	80%
Overall Standard Deviation	0.35

SUBGRADE CONDITIONS

AASHTO Classification	**
% Passing #200 Sieve	
Plasticity Index	
Correlated R-Value	28.8
Resilient Modulus MR (psi)	12,489
Design Modulus (psi)	12,489

SERVICEABILITY

Present (2.5 to 5.0)	4.0
Terminal (1.5 to 4.1)	2.4

LAYER COEFFICIENTS

	Structural	Drainage
Asphalt Concrete Surface Course	0.44	N/A
Aggregate Base Course	0.12	0.92
Cement or Bituminous Subgrade	0.23	

Design Calculations

Target Structural Number SN: 1.67

Alternative	Recommended Pavement Section Thickness Inches				Total Structural Number	Δ Structural Number
	Asphalt Concrete Surface	Aggregate Base Course	Cement or Bituminous Subgrade	Total		
A	3.0	4.00		7.0	1.76	0.09



Flexible Pavement Design Analysis

Design Criteria

PROJECT DATA

Pavement Designation	Montana Del Sol-Collector
Design Life (years)	20
Equivalent Axle Loads/Day	**
Total EAL's	187,245
Seasonal Variation Factor	1.7
Reliability	90%
Overall Standard Deviation	0.35

SUBGRADE CONDITIONS

AASHTO Classification	**
% Passing #200 Sieve	
Plasticity Index	
Correlated R-Value	28.8
Resilient Modulus MR (psi)	12,489
Design Modulus (psi)	12,489

SERVICEABILITY

Present (2.5 to 5.0)	4.1
Terminal (1.5 to 4.1)	2.6

LAYER COEFFICIENTS

	Structural	Drainage
Asphalt Concrete Surface Course	0.44	N/A
Aggregate Base Course	0.12	0.92
Cement or Bituminous Subgrade	0.23	

Design Calculations

Target Structural Number SN: 2.08

Alternative	Recommended Pavement Section Thickness Inches				Total Structural Number	Δ Structural Number
	Asphalt Concrete Surface	Aggregate Base Course	Cement or Bituminous Subgrade	Total		
A	4.0	4.00		8.0	2.20	0.12



Flexible Pavement Design Analysis

Design Criteria

PROJECT DATA

Pavement Designation	Montana Del Sol-Cul de sac
Design Life (years)	20
Equivalent Axle Loads/Day	**
Total EAL's	100,000
Seasonal Variation Factor	1.7
Reliability	80%
Overall Standard Deviation	0.35

SUBGRADE CONDITIONS

AASHTO Classification	**
% Passing #200 Sieve	
Plasticity Index	
Correlated R-Value	28.8
Resilient Modulus MR (psi)	12,489
Design Modulus (psi)	12,489

SERVICEABILITY

Present (2.5 to 5.0)	4.1
Terminal (1.5 to 4.1)	2.6

LAYER COEFFICIENTS

	Structural	Drainage
Asphalt Concrete Surface Course	0.44	N/A
Aggregate Base Course	0.12	0.92
Cement or Bituminous Subgrade	0.23	

Design Calculations

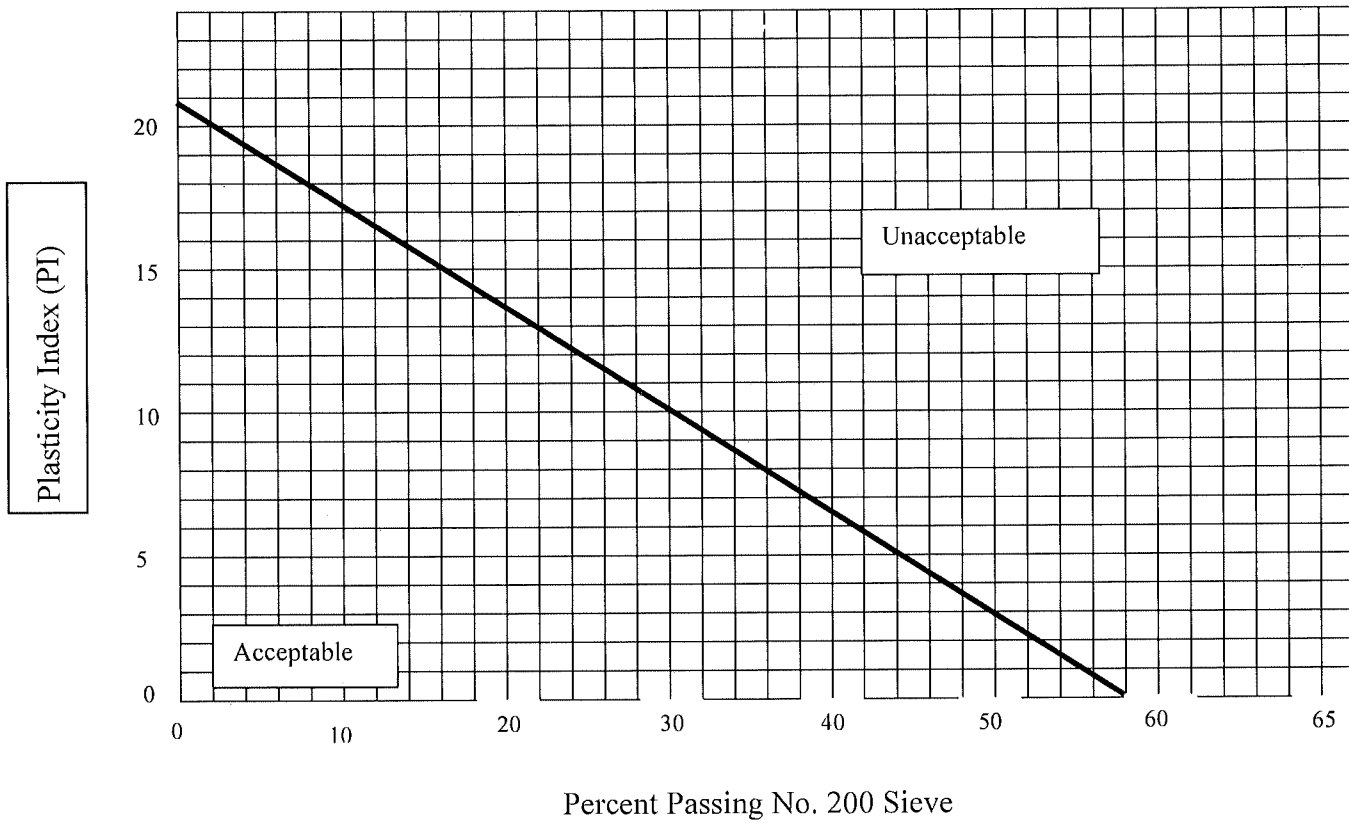
Target Structural Number SN: 1.76

Alternative	Recommended Pavement Section Thickness Inches				Total Structural Number	Δ Structural Number
	Asphalt Concrete Surface	Aggregate Base Course	Cement or Bituminous Subgrade	Total		
A	3.0	5.00		8.0	1.87	0.11



Subgrade Acceptance Chart

Based on the Pima County Construction Control Rpc-Value of 28.8, the following subgrade acceptance chart may be used for this project:



EARTHWORK

Site Clearing

Strip and remove any debris, vegetation, loose or wet soil and other deleterious materials from the pavement areas and at least 5 feet beyond. All exposed surfaces should be free of mounds and depressions that could prevent uniform compaction.

In areas that will receive fill, slopes steeper than 5 to 1 (horizontal to vertical) should be benched to reduce potential slippage between slopes and fills. Benches should be reasonably level and wide enough to allow appropriate use of compaction and earth-moving equipment on a level plane.

Excavation

Shallow excavations in the soils we encountered during our evaluation should be possible with conventional equipment. Deeper excavations may be difficult. The speed and ease of excavations will depend on the type of grading equipment, the skill of the operators and the structure of the deposit. If more information regarding excavation is desired, we suggest a study using equipment similar to that expected for the actual construction. The information contained in this report is intended for design and preliminary estimating purposes. Contractors reviewing the report must draw their own conclusions regarding the types of equipment and methods required to complete the construction.

Drainage Structure Preparation

The native in-situ soil is suitable for support of the proposed drainage structures. Scarify, moisten or dry as required, and compact exposed subgrade to a depth of at least 10 inches prior to placing drainage structures. All subbase fill and backfill shall be compacted as indicated herein to help prevent undesirable pavement settlement.

Pavement Preparation

The native in-situ soil is suitable for support of the proposed pavement section. Scarify, moisten or dry as required, and compact exposed subgrade to a depth of at least 10 inches prior to placing pavement materials. All subbase fill and utility backfill shall be compacted as indicated herein to help prevent undesirable pavement settlement.



Materials

The plasticity index (PI) and percent passing the No. 200 sieve when entered into the equation below, shall give a X value of 84 or less for all borrowed material placed within three feet of finished pavement subgrade.

$$X = (\text{minus } 200) + 2.83 (\text{PI})$$

Imported soils and existing granular soils with low expansive potentials and all particles passing the 6-inch sieve may be used as fill material for backfill/structural backfill areas.

Imported soils for Backfill/Structural Backfill should conform to the following requirements:

IMPORT SOIL PROPERTIES	
SIEVE SIZE	PERCENT PASSING, by dry weight
6"	100
No. 4	50-100
No. 200	40 max.
Maximum Expansive Potential = 1.5%*	
Maximum Soluble Sulfates = 0.10%	

* Measured on a sample compacted to approximately 95 percent of the ASTM D698 maximum dry density at about three percent below optimum water content. The sample is confined under a 100 psf surcharge and submerged.

Aggregate base course below concrete floor slabs should conform to the following requirements:

AGGREGATE BASE COURSE	
SIEVE SIZE	PERCENT PASSING, by dry weight
1"	100
3/4"	90 to 100
1/4"	45 to 75
No. 200	0 to 10
Plasticity Index = 5 max.	



Placement and Compaction

The contractor should place and compact fill in horizontal lifts, 8 to 10 inches in loose thickness, using equipment and procedures that will produce the recommended moisture contents and densities throughout the lift. When lighter hand-held compaction equipment is used, the loose lift thickness should be 4 to 6 inches.

Materials should be compacted to the following standards. Depending on the actual soils and compaction equipment, compaction moisture contents may need to be changed to avoid or limit soil yielding or pumping.

Imported soils and on-site and with low expansion potential should be compacted within a water content range of 3 percent below to 3 percent above optimum.

Soil Type and Area		Minimum Percent Compaction, ASTM D-698
On-site subgrade soils, on-site soils as subbase fill, and imported soils*		
	Below Pavement/ Drainage Structures	95
Base Course below pavement		100
Nonstructural backfill, <i>not providing lateral or vertical support of structural elements</i>		90

* Fill 5 feet or more below finished grade should be compacted to at least 100 percent of ASTM D-698.

CLOSURE

Additional Services

Field observation and testing during construction, and reviewing the plans and specifications are integral factors in developing and implementing our conclusions and recommendations. Our involvement during construction is important to observe compliance with the design concepts, specifications, or recommendations, and to allow efficient design changes if the subsurface conditions differ from those anticipated. PATTISON ENGINEERING, L.L.C. offers these services and is the most qualified to determine consistency of field conditions with the data used in our analyses. It is the client's responsibility to make this report available, in its entirety, to all design team members, contractors, and owners.



Limitations

The services we performed for this project include professional opinions and judgments based on the data collected. We performed our professional services using the degree of care and skill ordinarily exercised, under similar circumstances, by reputable geotechnical engineers practicing in southern Arizona. We do not intend to provide recommendations that prevent all undesirable effects resulting from structural movements. We intend to provide reasonable solutions to help control effects the soil may have on the structures. We make no other warranty, expressed or implied.

We prepared the report as an aid for the design of the project. This report is not a bidding document and any contractors reviewing it must draw their own conclusions regarding site conditions and specific construction techniques to be used on this project.

Our services did not include any environmental assessment or investigation for the presence or absence of hazardous or toxic materials in the soil, groundwater, or air, on or below or around, this site. All conditions documented or observed are strictly for the information of our client. If environmental information is required, we recommend that an environmental assessment be completed which addresses these concerns.

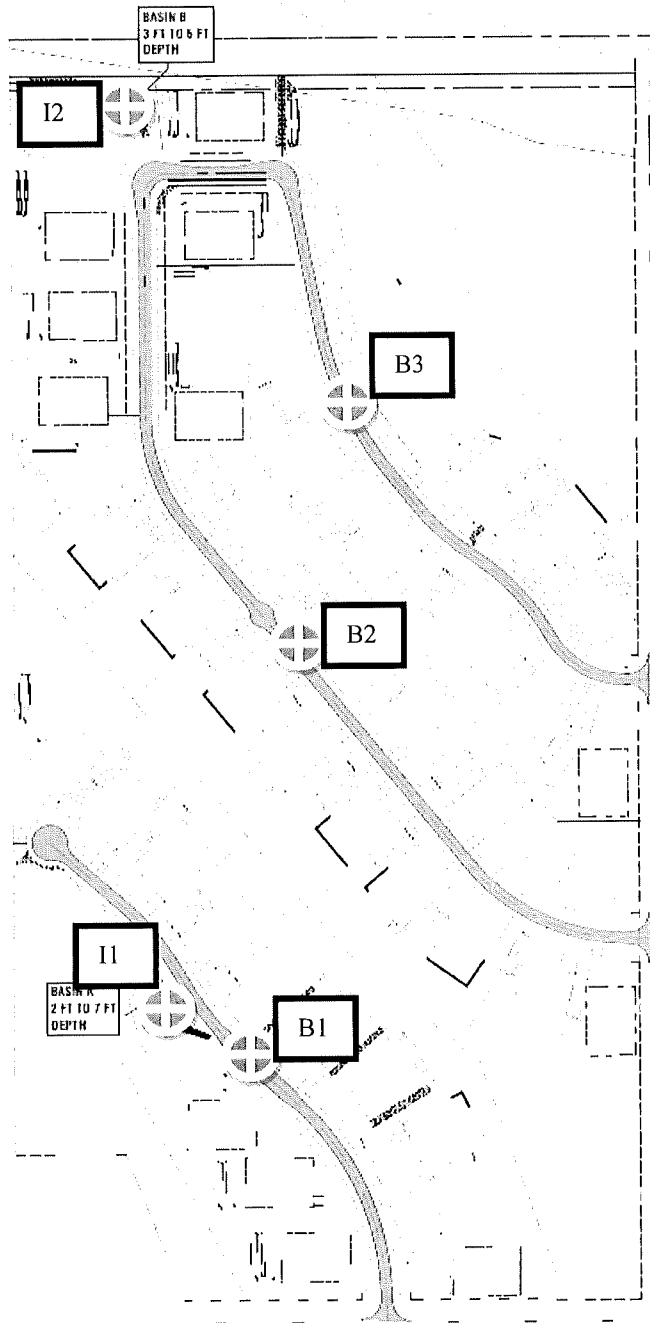
We based our recommendations on the assumption the soil and groundwater conditions across the site are similar to those encountered at the exploration locations. The extent and nature of subsurface soil and groundwater variations may not be evident until construction. If conditions encountered during construction appear to differ from those described in this report, we should be consulted to assess the impact and provide supplemental recommendations. Our evaluation and report does not include the effects, if any, of underlying geologic hazards or regional groundwater withdrawal and we express no opinion regarding their effects on surface movement.





APPENDIX



Site and Exploration Location Plan



KEY:

-  B# Boring Location
-  I# Infiltration Test Location



Method of Soil Classification

Major Divisions	Subdivisions	USCS Symbol		Typical Names
Coarse-grained soils (More than 50% retained on No. 200 sieve)	Gravels (More than 50% of coarse fraction retained on No. 4 sieve)	GW	Less than 5% fines*	Well-graded gravels or gravel-sand mixtures, little or no fines
		GP	Less than 5% fines*	Poorly graded gravels or gravelly sands, little or no fines
		GM	More than 12% fines*	Silty gravels, gravel-sand-silt mixtures
		GC	More than 12% fines*	Clayey gravels, gravel-sand-clay mixtures
	Sands (50% or more of coarse fraction passes No. 4 sieve)	SW	Less than 5% fines*	Well-graded sands or gravelly sands, little or no fines
		SP	Less than 5% fines*	Poorly graded sands or gravelly sands, little or no fines
		SM	More than 12% fines*	Silty sands, sand-silt mixtures
		SC	More than 12% fines*	Clayey sands, sand-clay mixtures
Fine-grained soils (50% or more passes the No. 200 sieve)	Silts and Clays (Liquid limit less than 50)	ML	Inorganic soil	Inorganic silts, rock flour, silts of low plasticity
		CL	Inorganic soil	Inorganic clays of low plasticity, gravelly clays, sandy clays, etc.
		OL	Organic soil	Organic silts and organic clays of low plasticity
	Silts and Clays (Liquid limit 50 or more)	MH	Inorganic soil	Inorganic silts, micaceous silts, silts of high plasticity
		CH	Inorganic soil	Inorganic highly plastic clays, fat clays, silty clays, etc.
		OH	Organic soil	Organic silts and organic clays of high plasticity
Peat	Highly Organic	PT		Peat and other highly organic soils

- *Fines* are those soil particles that pass the No. 200 sieve. For gravels and sands with between 5 and 12% fines, use of dual symbols is required (i.e., GW-GM, GW-GC, GP-GM, or GP-GC).

Coarse Grained Scale (50% retained on #200 sieve)

CLASSIFICATION	U.S. Standard Sieve Size
BOULDERS	Above 12"
COBBLES	12" to 3"
GRAVEL	3" to No. 4
<i>Coarse</i>	3" to 3/4"
<i>Fine</i>	3/4" to No. 4
SAND	No. 4 to No. 200
<i>Coarse</i>	No. 4 to No. 10
<i>Medium</i>	No. 10 to No. 40
<i>Fine</i>	No. 40 – No. 200
SILT & CLAY	Below No. 200

<u>ADJECTIVE</u>	<u>%</u>
trace	0-10
some	10-20
with	20-30
"-y" or "-ey"	30-50

P = poorly graded
W = well graded

<u>P.I.</u>	<u>ADJECTIVE</u>
< 1	non-plastic
1-7	low plasticity
8-20	medium plasticity
> 20	high plasticity



Boring Log Notes

The number shown in **Boring No.** refers to the approximate location of the same number shown on the **Site Plan** as positioned in the field by pacing from property lines and/or existing features.

The number shown in **Blows/6"** refers to the number of blows of a 140-pound weight dropped 30 inches, required to advance the sampler. **H** in **Sample Type** is a hand sample from the auger cuttings. **RS** in **Sample Type** is a 2.42-inch-inside-diameter ring sampler. Refusal to penetration for the ring sampler is considered more than 50 blows per foot. **SS** in **Sample Type** is a 2.0-inch-outside-diameter split-spoon sampler. This sampler is used to perform the Standard Penetration Test (SPT) ASTM D1586. Refusal to penetration is considered to be one of the following items: 1. A total of 50 blows has been applied during any one of the three 6-inch increments; 2. A total of 100 blows has been applied; 3. There is no observed advance of the sampler during application of 10 successive blows of the hammer.

USCS Code refers to the soil type as defined by the **Unified Soil Classification System**. The soils were visually classified in the field and, where appropriate, classifications were modified by visual examination of samples in the laboratory and by appropriate test.

These notes and boring logs are intended for use in conjunction with the purposes of our services defined in the text. Boring log data should not be construed as part of the construction plans or as defining construction conditions.

Boring logs depict our interpretations of subsurface conditions at the locations and on the date(s) shown. Variations in subsurface conditions and soil characteristics may occur between borings. Groundwater levels may fluctuate due to seasonal variations and other factors.

In general, terms and symbols on the boring logs conform with "**Standard Definitions of Terms and Symbols Relating to Soil and Rock Mechanics**" (ASTM D653).



Laboratory Test Results

TEST PIT NO.	DEPTH (FT)	PLASTICITY		% PASSING #200 SIEVE	SOIL CLASSIFICATION
		LL	PI		
1	0-5	27	4	49.3	SC-SM
2	0-5	--	NP	16.5	SM
3	0-5	28	4	45.3	SC-SM



Laboratory R-Value Results



LABORATORY SERVICES REPORT

Report Number: 65241089.0006
 Service Date: 09/23/24
 Report Date: 09/23/24
 Task: Laboratory Testing



4685 S Ash Ave, Ste H-4
 Tempe, AZ 85282-6767
 480-897-8200

Client
 Pattison Engineering LLC
 Attn: Francisco Jacinto
 2660 E Ganley Rd
 Tucson, AZ 85706

Project
 Pattison Engineering Support
 4685 S Ash Ave, Suite H-4
 Tempe, AZ 85282

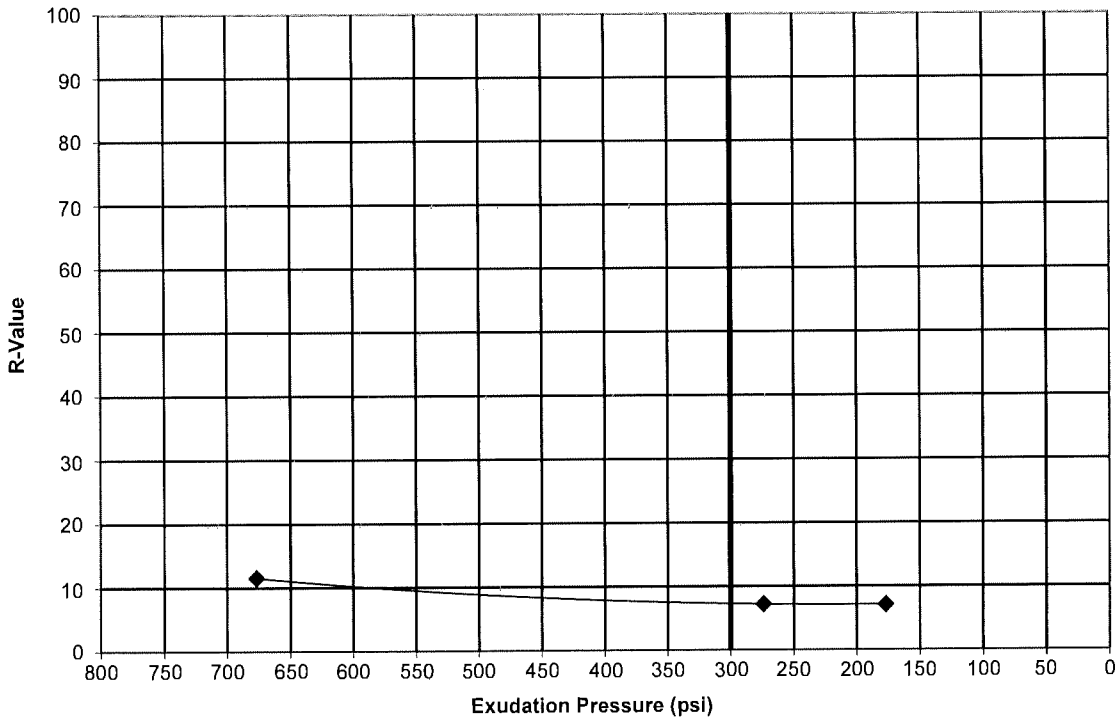
Project No. 65241089

Material Description: Silty Clay
 Sample Location: B-1@0'-4'
 Lab Number: 7216
 Sample Source: Pattinson Project# 24-075

RESISTANCE R-VALUE AND EXPANSION PRESSURE OF COMPACTED SOILS (ASTM D2844)

SPECIMEN I. D.	A	B	C
Moisture Content	11.3%	10.0%	9.1%
Compaction Pressure (psi)	50	110	125
Specimen Height (inches)	2.40	2.30	2.50
Dry Density (pcf)	122.1	127.8	132.0
Horiz. Pres. @ 1000lbs (psi)	65.0	62.0	29.0
Horiz. Pres. @ 2000lbs (psi)	140.0	136.0	130.0
Displacement	4.22	4.58	4.41
Expansion Pressure (psi)	0.2	0.2	0.2
Exudation Pressure (psi)	177	274	677
R Value	7.1	7.2	11.6

R-Value:
7



Services:

Terracon Rep:

Reported To:

Contractor:

Report Distribution

(1) Pattison Engineering LLC, Francisco

(1) Pattison Engineering LLC, Nicole Jacinto

Reviewed By:

Iram Bencomo

Assistant Project Manager

The tests were performed in general accordance with applicable ASTM, AASHTO, or DOT test methods. This report is exclusively for the use of the client indicated above and shall not be reproduced except in full without the written consent of our company. Test results transmitted herein are only applicable to the actual samples tested at the location(s) referenced and are not necessarily indicative of the properties of other apparently similar or identical materials.

LABORATORY SERVICES REPORT

Report Number: 65241089.0006
Service Date: 09/23/24
Report Date: 09/23/24
Task: Laboratory Testing



4685 S Ash Ave, Ste H-4
Tempe, AZ 85282-6767
480-897-8200

Client
Pattison Engineering LLC
Attn: Francisco Jacinto
2660 E Ganley Rd
Tucson, AZ 85706

Project
Pattison Engineering Support
4685 S Ash Ave, Suite H-4
Tempe, AZ 85282

Project No. 65241089

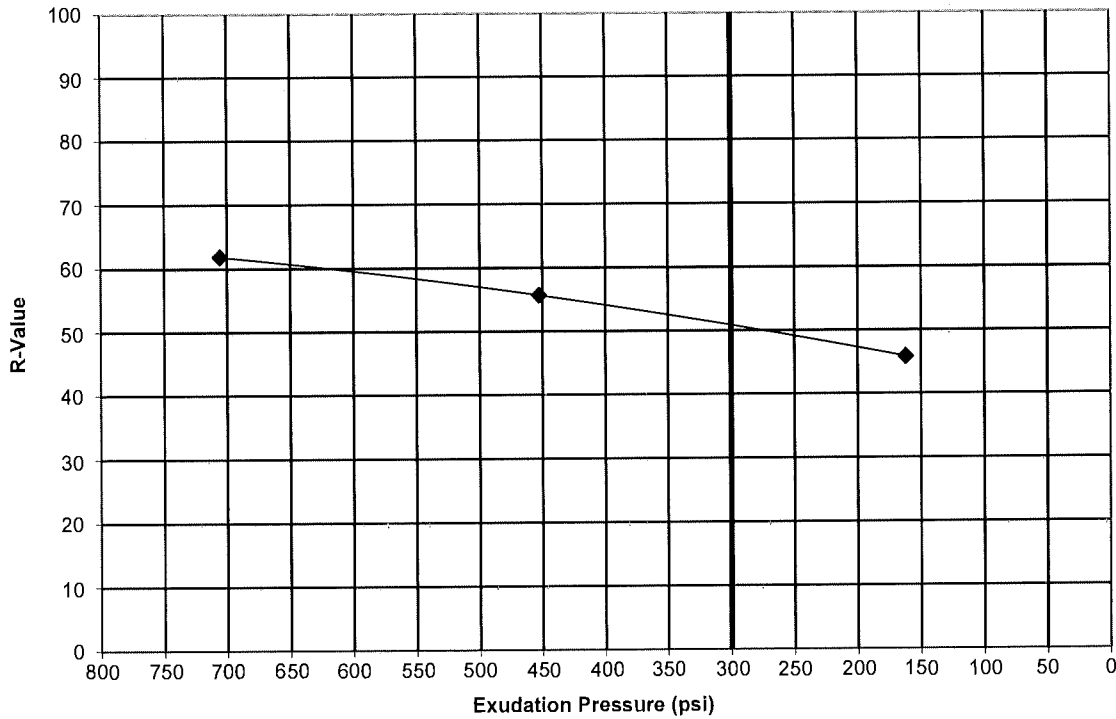
Material Description: Clayey Silt
Sample Location: B-2@0'-4'
Lab Number: 7216

Sample Source: Pattinson Project# 24-075

RESISTANCE R-VALUE AND EXPANSION PRESSURE OF COMPACTED SOILS (ASTM D2844)

SPECIMEN I. D.	A	B	C
Moisture Content	8.9%	8.4%	7.6%
Compaction Pressure (psi)	175	175	175
Specimen Height (inches)	2.50	2.50	2.48
Dry Density (pcf)	133.3	135.3	136.2
Horiz. Pres. @ 1000lbs (psi)	28.0	21.0	22.0
Horiz. Pres. @ 2000lbs (psi)	51.0	43.0	35.0
Displacement	6.31	5.41	5.50
Expansion Pressure (psi)	0.1	0.1	0.1
Exudation Pressure (psi)	162	453	706
R Value	45.9	55.7	61.9

R-Value:
51



Services:

Terracon Rep:

Reported To:

Contractor:

Report Distribution

(1) Pattison Engineering LLC, Francisco

(1) Pattison Engineering LLC, Nicole Jacinto

Reviewed By:

Iram Bencomo
Assistant Project Manager

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LABORATORY SERVICES REPORT

Report Number: 65241089.0006
Service Date: 09/23/24
Report Date: 09/23/24
Task: Laboratory Testing



4685 S Ash Ave, Ste H-4
Tempe, AZ 85282-6767
480-897-8200

Client

Pattison Engineering LLC
Attn: Francisco Jacinto
2660 E Ganley Rd
Tucson, AZ 85706

Project

Pattison Engineering Support
4685 S Ash Ave, Suite H-4
Tempe, AZ 85282

Project No. 65241089

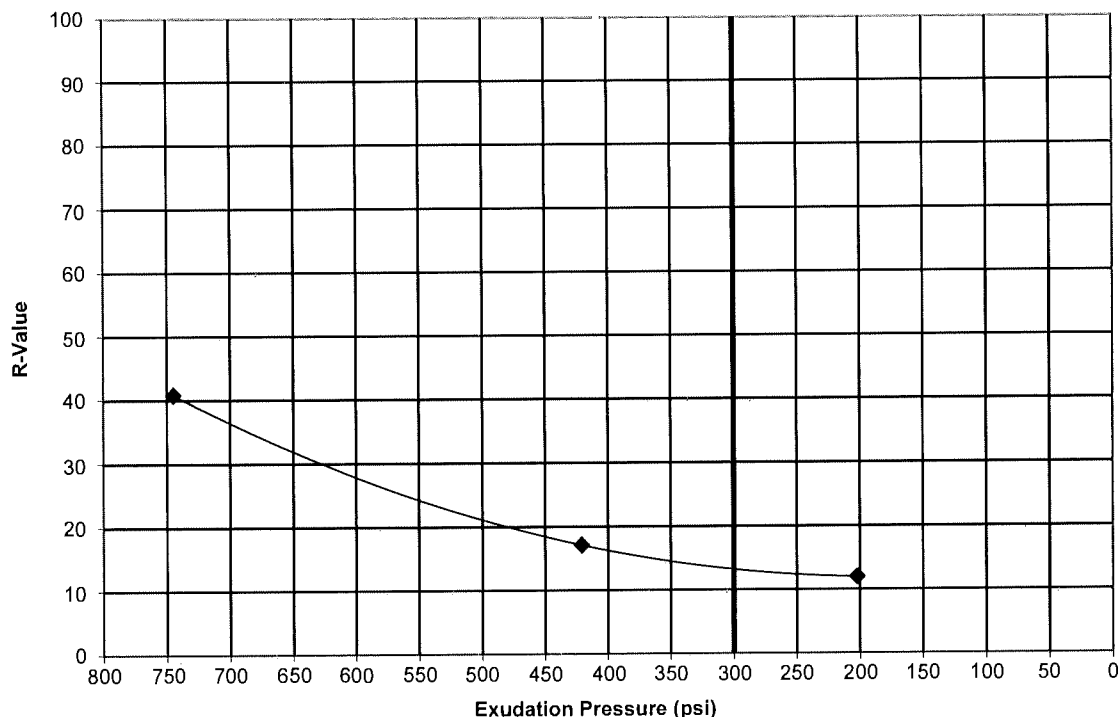
Material Description: Sity Clay
Sample Location: B-3@0'-4'
Lab Number: 7216

Sample Source: Pattinson Project# 24-075

RESISTANCE R-VALUE AND EXPANSION PRESSURE OF COMPACTED SOILS (ASTM D2844)

SPECIMEN I. D.	A	B	C
Moisture Content	15.3%	14.4%	13.5%
Compaction Pressure (psi)	100	150	230
Specimen Height (inches)	2.50	2.50	2.45
Dry Density (pcf)	133.0	134.1	135.5
Horiz. Pres. @ 1000lbs (psi)	55.0	50.0	34.0
Horiz. Pres. @ 2000lbs (psi)	120.0	110.0	69.0
Displacement	6.12	5.49	4.78
Expansion Pressure (psi)	0.1	0.1	0.1
Exudation Pressure (psi)	202	421	745
R Value	12.0	17.1	40.8

R-Value:
13



Services:

Terracon Rep:

Reported To:

Contractor:

Report Distribution

(1) Pattison Engineering LLC, Francisco

(1) Pattison Engineering LLC, Nicole Jacinto

Reviewed By:

Iram Bencomo
Assistant Project Manager

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Test Pit Logs



*Geotechnical Engineering
Construction Inspection
Materials Testing
PATTISON ENGINEERING LLC*

TEST PIT NUMBER

B-1

SHEET 1 OF 1

Client: Tula Lane, LLC

Project: Montana Del Sol

Location: Tula Lane and Picture Rocks Road

Location of Pit:

See Site Plan

SAMPLE TYPE	BLOWS PER 6"	INCHES DRIVEN/ INCHES RECOVD	BULLNOSE BLOWS/FT	DEPTH (FEET)	USCS CODE	Elevation:	Datum:	DRY DENSITY (PCF)	MOISTURE (%)
						Logged By: ARL Date: 9/4/2024			
						Subsurface Conditions or Remarks:			
						DESCRIPTION OF SUBSURFACE CONDITIONS			
H				0	SC-SM	Silty Clayey sand with gravel, brown, slightly damp			
				5		BOTTOM OF TEST PIT AT 5 FEET <i>No Free Water Encountered</i>			
				10					
				15					
				20					
				25					
				30					

Sample Type Key:
 SS = Split Spoon
 RS = Ring Sample
 H = Hand Sample

Excavation Equipment:
 Cat 420D

Client: Tula Lane, LLC

Project: Montana Del Sol

Location: Tula Lane and Picture Rocks Road

Location of Pit:

See Site Plan

SAMPLE TYPE	BLOWS PER 6"	INCHES DRIVEN/ INCHES RECOVD	BULLNOSE BLOWS/FT	DEPTH (FEET)	USCS CODE	Elevation:	Datum:	DRY DENSITY (PCF)	MOISTURE (%)
						Subsurface Conditions or Remarks:			
						DESCRIPTION OF SUBSURFACE CONDITIONS			
H				0	SM	Silty sand with gravel, brown, slightly damp			
				5		BOTTOM OF TEST PIT AT 5 FEET <i>No Free Water Encountered</i>			
				10					
				15					
				20					
				25					
				30					

Sample Type Key:
 SS = Split Spoon
 RS = Ring Sample
 H = Hand Sample

Excavation Equipment:
 CAT 420D

*Geotechnical Engineering
Construction Inspection
Materials Testing
PATTISON ENGINEERING LLC*

TEST PIT NUMBER

B-3

SHEET 1 OF 1

Client: Tula Lane, LLC

Project: Montana Del Sol

Location: Tula Lane and Picture Rocks Road

Location of Pit:

See Site Plan

SAMPLE TYPE	BLOWS PER 6"	INCHES DRIVEN/ INCHES RECOVD	BULLNOSE BLOWS/FT	DEPTH (FEET)	USCS CODE	Elevation:	Datum:	DRY DENSITY (PCF)	MOISTURE (%)
						Logged By: ARL	Date: 9/4/2024		
						Subsurface Conditions or Remarks:			
						DESCRIPTION OF SUBSURFACE CONDITIONS			
H				0	SC-SM	Silty sand with gravel, brown, slightly damp			
				5		BOTTOM OF TEST PIT AT 5 FEET <i>No Free Water Encountered</i>			
				10					
				15					
				20					
				25					
				30					

Sample Type Key:
 SS = Split Spoon
 RS = Ring Sample
 H = Hand Sample

Excavation Equipment:
 CAT 420D