

# W Saguaro Ridge Dr

Lot 3268



## LEGAL DESCRIPTION

New single family home, in the Quien Save annexation (C9-82-62)

OWNER'S NAME Robert Whalen  
PROJECT ADDRESS 3268 W Saguaro Ridge Dr  
PROJECT DISCRIPTION Single family home

ZONING R1 SECTION \_\_\_\_\_ T. \_\_\_\_\_, R. \_\_\_\_\_  
OVERLAY ZONES \_\_\_\_\_

## LOT COVERAGE CALCULATIONS

**New Home/ Dwellings** 3040.91 ☒  
**ADDITIONS** N/A ☒  
**ACCESSORY STRUCTURES** = N/A ☒  
**GARAGE/CARPORT** = 1,260 sqft ☒  
**DRIVEWAY/VEHICULAR USE AREA** 1200 ☒

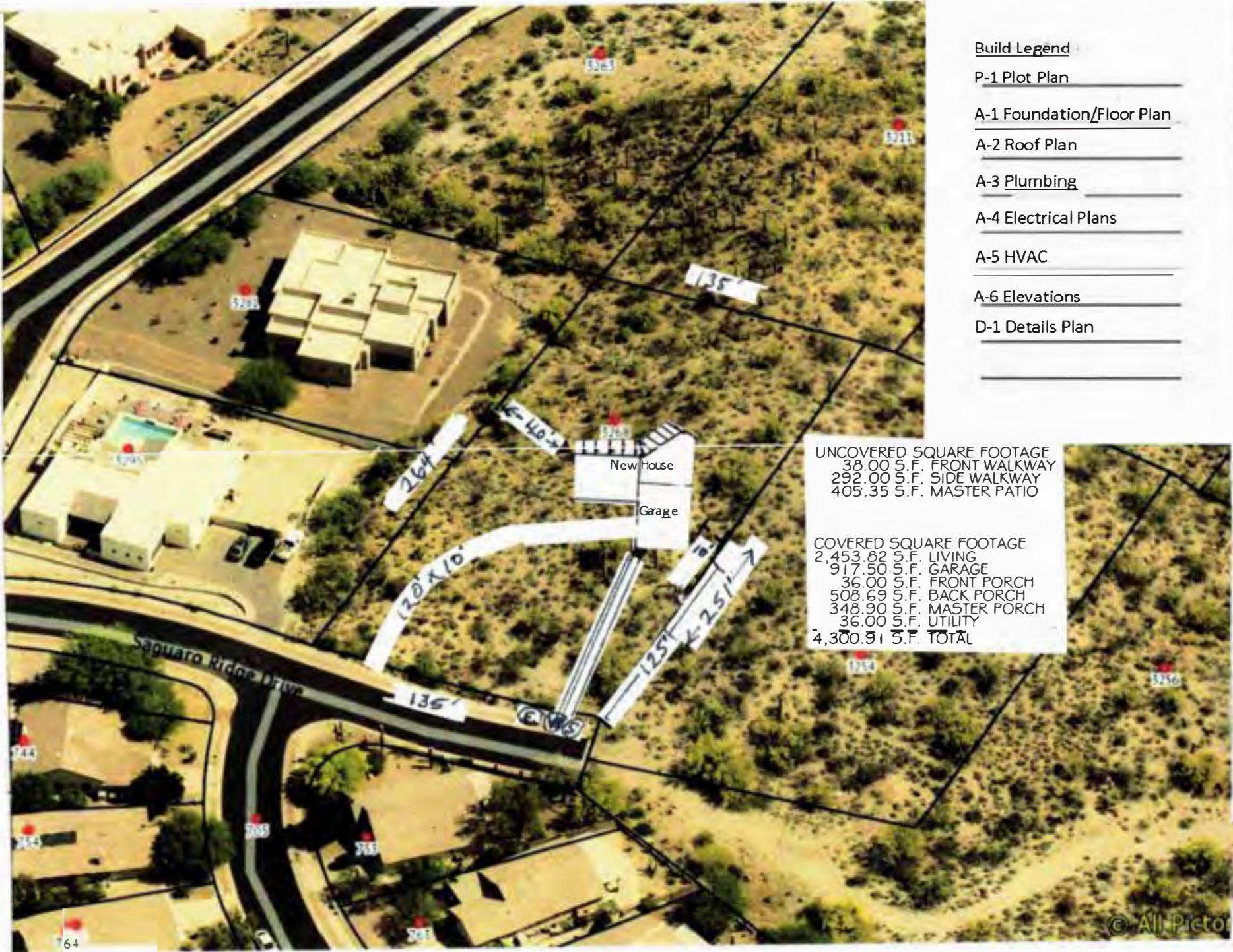
**TOTAL LOT COVERAGE** 5,500.91 ☒  
**LOT AREA (LOT SIZE)** = 34762.5 ☒  
**TOTAL LOT COVERAGE ÷ BY LOT AREA =** .158 %

## BUILDING ELEVATIONS

**BUILDING HEIGHT NORTH SIDE** 15' ☒  
**BUILDING HEIGHT SOUTH SIDE** 13' ☒  
**BUILDING HEIGHT WEST SIDE** 15 ☒  
**BUILDING HEIGHT EAST SIDE** = 13' ☒

## DENSITY CALCULATIONS

**LOT AREA** 34765.5 ☒ ÷ 43,560 ☒ = .798 ACRES  
\_\_\_\_ ACRES X 1 UNITS PER ACRE = 1 UNITS ALLOWED  
**UNITS PROPOSED** 1



## Build Legend

- P-1 Plot Plan
- A-1 Foundation/Floor Plan
- A-2 Roof Plan
- A-3 Plumbing
- A-4 Electrical Plans
- A-5 HVAC
- A-6 Elevations
- D-1 Details Plan

Plot Plan

3268 W Saguaro Ridge Dr

Ed Fuller Construction, LLC  
ROC#324859  
520-999-1109



## PLOT PLAN

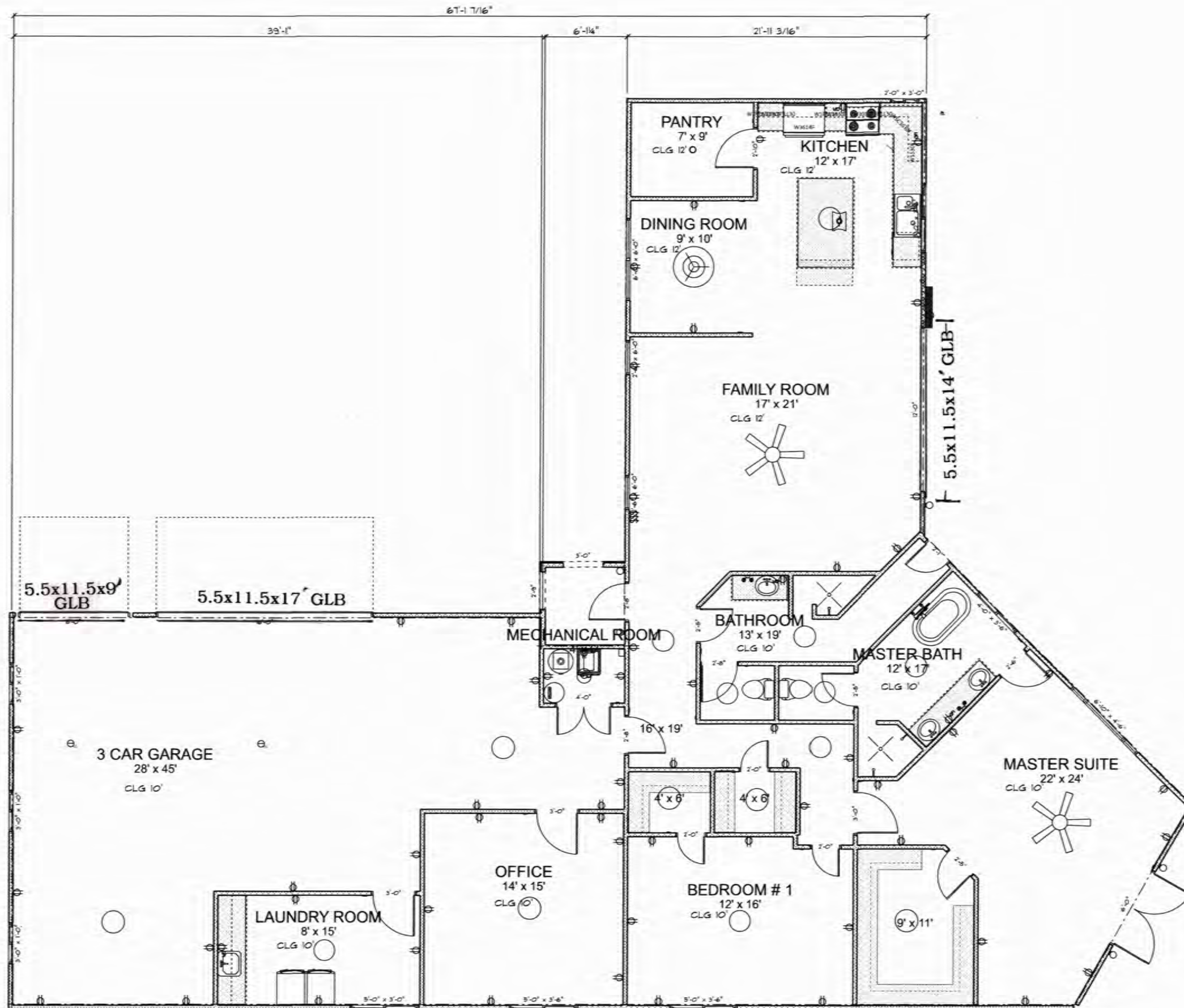
2018 IRC

SCALE: 1" = 60'-0"  
1 OF

05/11/2020

SHEET  
P-1





## FLOOR PLAN GENERAL NOTES

2010 INTERNATIONAL RESIDENTIAL CODE

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSION AND CONDITIONS BEFORE CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER IN WRITING BEFORE PROCEEDING W/ WORK.
2. DO NOT SCALE DIMENSIONS, USE WRITTEN DIMENSIONS OR WHERE NO DIMENSIONS ARE GIVEN, CONSULT THE DESIGNER FOR CLARIFICATION BEFORE PROCEEDING W/ THE WORK. DIMENSION AT OUTSIDE WALLS ARE TO FACE OF STEM WALL AND TO INSIDE EDGE OF DRYTALL.
3. THE FLOOR IS FINISHED CONCRETE.
4. EXTERIOR WALLS - 2x6 WOOD STUDS @ 16" O.C. W/ ONE COAT STUCCO SYSTEM (ICBO #888 OR EQUAL) STUCCO MRE, 1" FOAM BD, 3/8" SHEATHING (OSB), CONCEALED FOAM INSULATION BETWEEN STUDS.
5. ALL WOOD PLATES, EXTERIOR AND INTERIOR TO BE PRESSURE TREATED OR FOUNDATION GRADE (2010 IRC, SEC. R301.1).
6. LANDINGS (SIZE) THE WIDTH OF EACH LANDINGS SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDINGS SHALL HAVE A MIN. DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL (SECT. R301.4.3).
7. ALL FRAMING CONNECTIONS SHALL BE IN ACCORDANCE W/ TABLE 2304.1.1.

## DOOR SCHEDULE Headers

NO. AMT. SIZE TYPE MATERIAL REMARKS

2x6 Boxed Headers or 2x8 Sandwiched Headers

## BUILDING AREA CALCULATION

4,300.91 sqft

## FOUNDATION NOTES

2010 INTERNATIONAL RESIDENTIAL CODE

1. TENSILE PRETREATMENT SPREADERS UNDER SLAB AND AROUND FOOTINGS. ALL AREAS BELOW SLABS SHALL BE TREATED NO MORE THAN 24 HOURS PRIOR TO CONCRETE POUR. EVIDENCE OF TREATMENT MUST BE PROVIDED PRIOR TO PLACING OF CONCRETE.
2. ALL INTERIOR CONCRETE SLABS SHALL BE A MINIMUM OF 4" THICK CONCRETE WITH 606X106 GAL. W/UF. OVER 4" COMPACTED AGGREGATE BASE COURSE TO 95% OF STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698), FINISH ELEVATIONS AS NOTED ON DRAWINGS, 6" ABOVE ADJACENT NATURAL GRADE. LEVEL SLABS TO 1/8" - 1/4" MAXIMUM. POUR CONCRETE THROUGH AT EXTERIOR DOOR THRESHOLDS 6" TO 8" THICK W/ A 14 HORIZONTAL REBAR LOCATED 4" DOWN FROM THE TOP FLOOR TO BE EXTENDED A MINIMUM OF 6" BEYOND EACH SIDE OF OPENING. CONCRETE SLABS SHALL BE MIN. 2500 PSI AT 28 DAYS A 4" ALLOWABLE SLUMP.
3. ALL FOOTINGS TO EXTEND MINIMUM 6" FROM FINISHED GRADE INTO NATURAL UNDISTURBED SOIL. PRIOR TO PLACEMENT OF FOOTINGS, THE BOTTOM OF THE FOOTING TRENCHES MUST BE MOISTENED AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY. FOOTING CONCRETE TO BE MIN. 2500 PSI AT 28 DAYS WITH A 4" ALLOWABLE SLUMP FINISH AS SPECIFIED.
4. ALL CONCRETE WALKS AND STOOPS WILL BE 4" THICK OVER 4" COMPACTED AGGREGATE COURSE W/ A MINIMUM 6" FINISHED TURNDOWN OR AS NOTED ON DRAWINGS. CONCRETE TO BE MIN. 2500 PSI AT 28 DAYS W/ A 4" ALLOWABLE SLUMP. FINISH AS SPECIFIED.
5. CONCRETE SUBCONTRACTOR TO INSTALL EXPANSION JOINTS / CUT JOINTS WHERE NECESSARY TO CONTROL CRACKING. CONTROL OR EXPANSION JOINTS @ MAX. 24'-0" O.C.
6. ALL COLD JOINTS WILL BE FORMED KEYED.
7. ALLOWABLE SOIL BEARING PRESSURE USED IN DESIGN OF THE FOOTINGS, ASSUMED VALUE OF 1500 PSF.
8. STEEL F<sub>y</sub> = 40 ksi
9. PROVIDE 1/2" DIA. x 10' ABS. @ 32" O.C. AT ALL EXTERIOR WALLS W/ 7" MIN. EMBED (UNLESS OTHERWISE NOTED).
10. FINISH GRACES ARE REQUIRED TO SLOPE AWAY FROM THE FOUNDATION WALLS. PROVIDE DRAINAGE SHELLS AND OTHER DEVICES AS NECESSARY SO NO WATER ACCUMULATES AT / OR INSIDE THE FOUNDATION.
11. VERIFY THE FOLLOWING PRIOR TO POURING:
  - A. ALL HOLD DOINGS, STRAP, AND POST LOCATIONS.
  - B. CONCRETE FINISHES.
  - C. UNDER SLAB MECHANICAL REQUIREMENTS.
  - D. STEM WALL BLOCKOUTS.
  - E. UNDER SLAB ELECTRICAL REQUIREMENTS AND PANEL RISER LOCATION - WHERE APPLICABLE.
12. PROVIDE THE FOLLOWING:
  - A. PVS SLEEVE(S) THROUGH STEM WALL IF REQUIRED (EACH CONDENSER LOCATION)
  - B. 20' REBAR GROUND IN SLAB.

## FOUNDATION SCHEDULE

- F1 4" CONC SLAB W/ 606X106 GAL W/UF AND MONO POURED 16" WIDE x 12" DEEP CONT. MONO POURED FOOTING W/ 1-14 CONT. BOTTOM REINFORCEMENT.)
- F2 4" CONC SLAB W/ 606X106 GAL W/UF AND MONO POURED 16" WIDE x 12" DEEP CONT. MONO POURED FOOTING W/ 1-14 CONT. BOTTOM REINFORCEMENT.)

NOTE: THESE PLANS ARE APPROVED FOR CONSTRUCTION AND FINAL BIDDING AS APPROVED BY BUILDING OFFICIALS ONLY. IF PLANS ARE NOT APPROVED AND STAMPED BY BUILDING OFFICIALS, THEY MAY NOT BE USED FOR CONSTRUCTION AND/OR FINAL BIDDING. THE DESIGNER IS NOT LIABLE IF UNAUTHORIZED PLANS ARE USED FOR CONSTRUCTION AND/OR FINAL BIDDING.

RESIDENCE AT:  
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FLOOR PLAN  
FOUNDATION PLAN

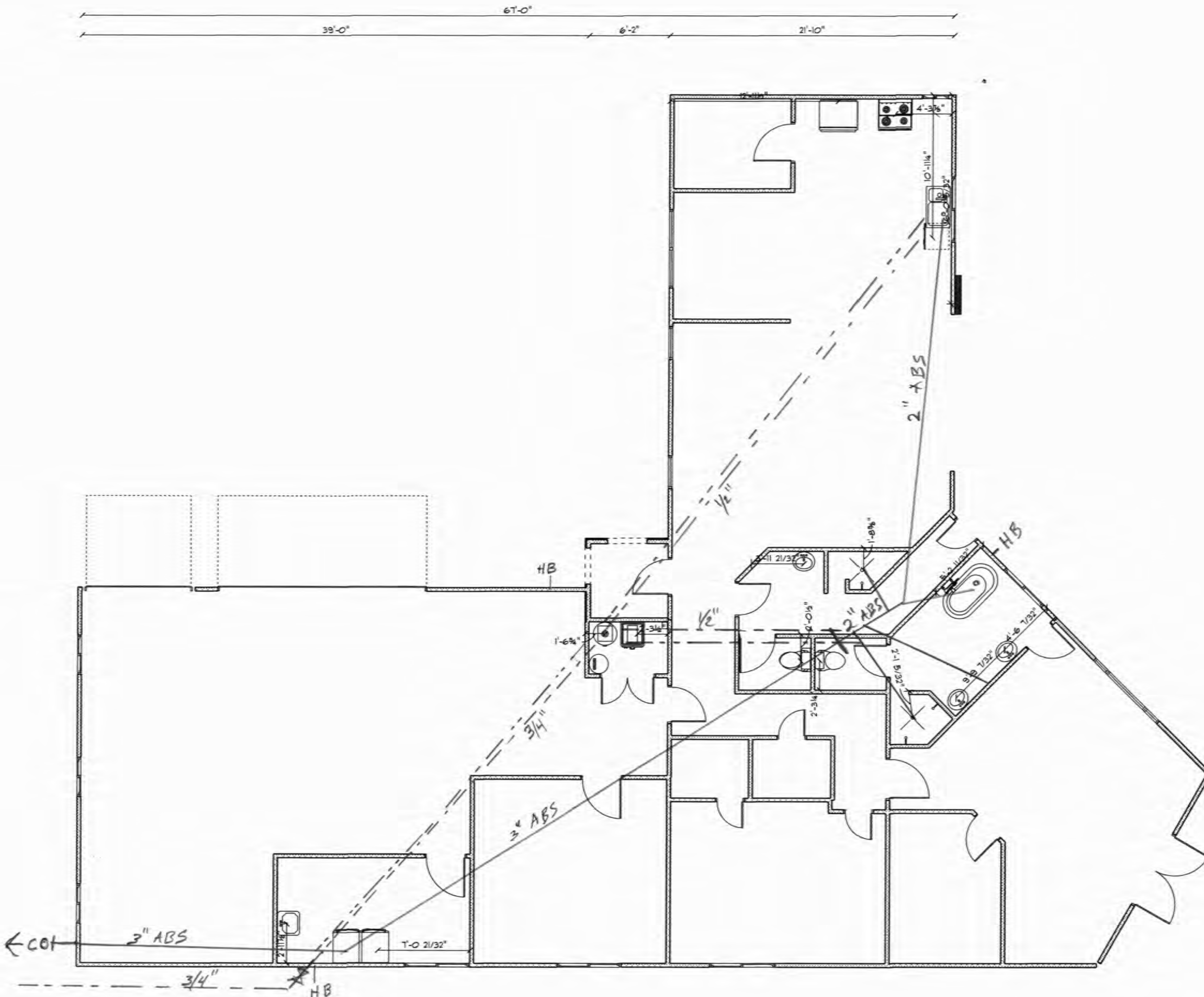
Ed Fuller Construction  
ROC # 324859  
(520) 999-1109

PROJECT #:  
DRAWN BY: EF  
DATE:  
SCALE:  
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## PLUMBING NOTES

2018 INTERNATIONAL RESIDENTIAL CODE

1. THE INSTALLATION OF PLUMBING SHALL COMPLY WITH THE 2018 IRC (W/ STATE AMENDMENTS).
2. CONTRACTOR SHALL CONFIRM ALL PLAN REVIEW COMMENTS PRIOR TO START OF INSTALLATION.
3. PLUMBING INSTALLATION TO BE TESTED PER LOCAL CODES, PRIOR TO CLOSING THE SYSTEM.
4. THE WATER / SOLID WASTE AND VENT PIPING IS/ARE APPROVED ON BASIS THAT A LICENSED PLUMBING CONTRACTOR COORDINATE THE DESIGN SHOWN, AND TO INSTALL THE WATER, SOLID WASTE REQUIREMENT IN ACCORDANCE WITH THE 2018 IRC (W/ STATE AMENDMENTS) AND GOOD DESIGN PRACTICE.
5. WASTE AND VENT TO BE ACRYLONITRILE-BUTADIENE-STYRENE (ABS) PLASTIC SCHEDULE 40.
6. COLD AND HOT WATER, TYPE L, COPPER BELOW GROUND, (NO JOINTS), TYPE M, COPPER ABOVE GROUND (OR OTHER 'APPROVED' PIPING AT CONTRACTOR'S OPTION) SECT. 604.6, PVC SCHEDULE 40 OUTSIDE BLDG. HOT WATER LINES TO BE WRAPPED, ALL INCOMING SERVICE LINES TO BE MIN. 1" (SECT. P2808.1).
7. VENT THROUGH ROOF TO BE LOCATED A MIN. OF 10'-0" (SECT. P3003.3) FROM FRESH AIR INTAKE (EVAP COOLER/AC, ETC.). WEATHERPROOF ALL ROOF AND WALL PENETRATIONS (SECT. P3003.3).
8. PRESSURE TEMPERATURE RELIEF (PTR) VALVE LINE TO VENT TO OUTSIDE WITH 3/4" COPPER, MAX. 24" TO MIN. 6" ABOVE GRADE (SECT. P2803).
9. PROVIDE SHUTOFF VALVE AND UNION AT COLD WATER CONNECTION TO WATER HEATER, PROVIDE UNION ONLY AT HOT WATER CONNECTION.
10. BRANCH LINES LONGER THAN 5'-0" IN LENGTH REQUIRE CLEAN-OUTS.
11. HOSE BIBBS MUST HAVE BACK-FLOW PREVENTION DEVICES (SECT. P2802.4.3).
12. PROVIDE CONDENSATION DRAIN LINE FOR EACH AC UNIT.
13. THERMOSTATIC MIXING VALVE REQUIRED FOR SHOWERS AND TUB/SHOWER COMBINATIONS.
14. ALL SINK STUBS TO INCLUDE VALVE AND CAP AT BOTH HOT WATER & COLD WATER.
15. WATER CLOSETS TO 16 G.P.F. SINKS AND SHOWERS HEADS 3 G.P.F.
16. FINISH FLOOR MUST BE A MIN. 12" ABOVE THE NEAREST UPSTREAM MANHOLE OR PROVIDE A BACKWATER VALVE.
17. SLEEVE / CONCRETE ENCASED SOLID WASTE DRAIN THROUGH LOAD BEARING WALL OR UNDER EXTERIOR WALL FOOTINGS (SECT. P2803.4).
18. PROTECTION OF POTABLE WATER SUPPLY TO COMPLY WITH SECT. P2802.
19. THE MAIN SEWER PIPING WILL BE A MINIMUM OF 1/4" SLOPE PER FOOT (SECT. P3002.3).

## WATER & WASTE SCHEDULE

FIXTURE	QTY	WATER FIXTURE UNITS	TOTAL	WASTE FIXTURE UNITS	TOTAL
KITCHEN GROUP	1	2.5	2.5	3	3
LAUNDRY GROUP	1	2.5	2.5	2	2
FULL BATH GROUP	2	3.6	7.2	5	10
LAVATORY	1	.7	.7	1	1
SINK	0	0	0	0	0
HOSE BIBB	6	2.5	15.0		
TOTAL = 21.5					16

WATER LINE DEVELOPED LENGTH: 200'-0"  
WATER PRESSURE: 80 TO 60 PSI (ASSUMED)  
(VERIFY PRESSURE, IF OVER 80 PSI, A PRESSURE  
RELIEF REGULATOR IS REQUIRED PER SECT. P2803.3)

## PLUMBING SCHEDULE

FIXTURE	TRAP	WASTE	VENT	C.S.I.	H.U.I.	NOTES
KITCHEN SINK	1 1/2"	2"	1 1/2"	1/2"	1/2"	W/ DISPOSAL
DISHWASHER	1 1/2"	2"	1 1/2"	-	1/2"	
LAVATORY	1 1/2"	1 1/2"	1 1/2"	1/2"	1/2"	
WATER CLOSET	3"	3"	2"	1/2"	-	
BATHTUB	1 1/2"	2"	1 1/2"	1/2"	1/2"	
SHOWER	2"	2"	1 1/2"	1/2"	1/2"	
WASHER	2"	2"	1 1/2"	1/2"	1/2"	
BIDET	1 1/2"	1 1/2"	1 1/2"	1/2"	1/2"	
LAUNDRY TUB	1 1/2"	1 1/2"	1 1/2"	1/2"	1/2"	
WATER HEATER	N/A	N/A	N/A	1"	1"	W/ 1/2" P.V.

MAX. DISTANCE OF TRAP ARM TO VENT:  
1 1/4" = 2'-6"  
2" = 5'-0"  
4" AND LARGER = 10'-0"

## PLUMBING LEGEND

DESCRIPTION	SYMBOL	MATERIAL
COLD WATER LINE	---	COPPER
HOT WATER LINE	---	COPPER
SEWER LINE	---	ABS
GAS LINE	---	STEEL (BLACK)
HOSE BIBB	HB	W/ VAC BREAKER
CLEAN OUT	CO	
SHUT OFF VALVE	SV	

RESIDENCE AT:

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PLUMBING PLAN

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ROC# 324859

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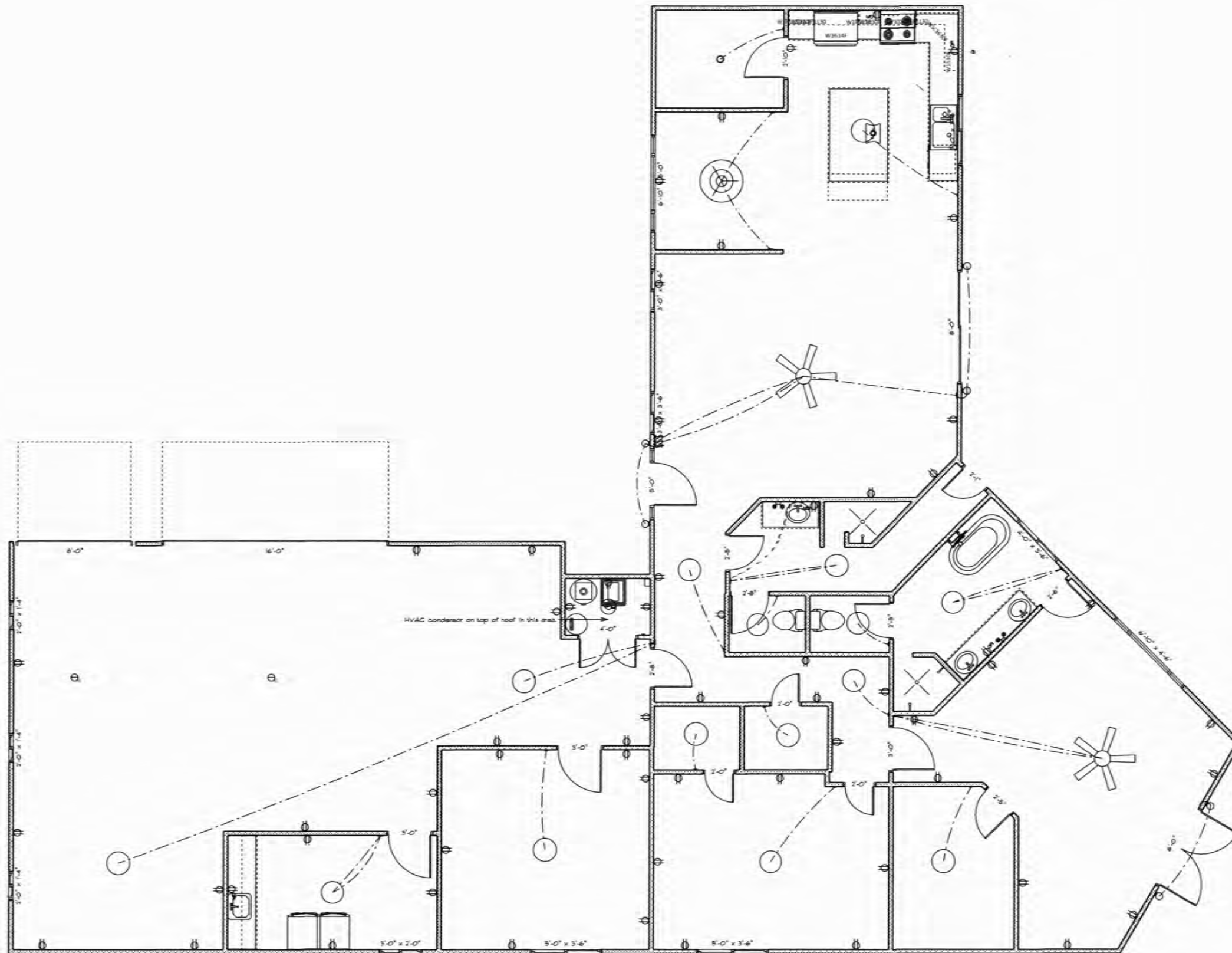
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# ELECTRICAL NOTES

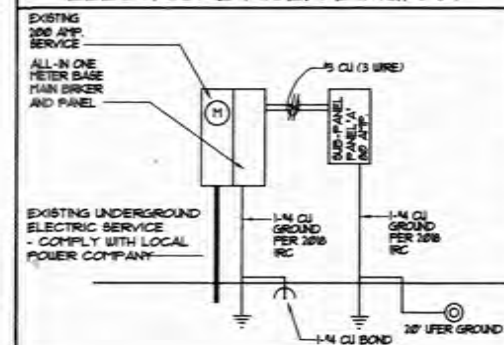
2018 INTERNATIONAL RESIDENTIAL CODE

- IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO VERIFY ALL EQUIPMENT AND APPLIANCE AMPERAGE AND MANUFACTURER'S SPECIFICATIONS FOR WIRING BEFORE INSTALLATION.
- THE ELECTRICAL CONTRACTOR IS TO VERIFY ALL OUTLET AND EQUIPMENT LOCATIONS WITH OWNER BEFORE INSTALLATION.
- ELECTRICAL INSTALLATION AND WIRING TO BE COPPER (UNLESS OTHERWISE NOTED) COMPLY WITH CHAPTER 31 AND CIRCUITS PER TABLE E3102.13.
- PANEL LOCATION (SECT. E3405): PROVIDE A READILY ACCESSIBLE DISCONNECT THAT IS LOCATED ADJACENT TO AND IN SIGHT OF MECHANICAL EQUIPMENT (SECT. E3501.6) AND GROUNDING (SECT. E3601) OR NEC 250-8) OR BOND TO THE WATER PIPING, GAS AND METAL BUILDING SYSTEMS (SECT. E3605).
- ALL ELECTRICAL EQUIPMENT SHALL BE:  
(A) LISTED AND LABELED BY AN INDEPENDENT TESTING LABORATORY (SECT. E3401);  
(B) USED AND INSTALLED IN ACCORDANCE WITH LISTING INSTRUCTIONS.
- RECEPTACLES TO BE LOCATED WITHIN 6' OF A DOOR OPENING AND NOT MORE THAN 6' APART. RECEPTACLE SPACING SHALL BE PER CHAPTER 35, HALLS 10' OR LONGER REQUIRED RECEPTACLE (SECT. E3601.10).
- A 120V RECEPTACLE IS REQUIRED WITHIN 25' OF ANY HEAT PUMP OR AC UNIT (SECT. E3601.11); AT FURNACE A RECEPTACLE AND LIGHT (SECT. E3603.4).
- FIXTURES (CEILING FANS INCLUDED) THAT ARE LOCATED IN DAMP OR WET LOCATIONS SHALL BE "LISTED" TO BE SUITABLE FOR SUCH LOCATIONS, PURSUANT TO SECT. E3505.1.
- ONLY APPROVED CEILING FAN BOXES SHALL BE USED (SECT. E3505.2).
- ALL EXTERIOR LIGHTING SHALL COMPLY WITH PIMA COUNTY/CITY OF TUCSON OUTDOOR LIGHTING CODE.
- ALL LIGHTING FIXTURES IN CLOSETS SHALL BE LOCATED A MIN. OF 18" FROM ANY SHELVEING (SECT. E4003.12).
- LIGHTING EFFICIENCY SHALL MEET SECT. N104.1. A MINIMUM OF 50% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR A MINIMUM OF 75% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.
- A CLEAR WORKING SPACE OF 30"x36" MUST BE MAINTAINED IN FRONT OF THE A/C UNIT DISCONNECT. ALL EQUIPMENT LOCATIONS & "WORKING SPACE" CLEARANCES TO COMPLY WITH SECT. E3405.

## ELECTRICAL CALCULATIONS

MAIN PANEL		SUB-PANEL	
2263 50L x 3 W	6,789 W	175 RECEPT CIRCUITS (3)	4,500 W
APPLIANCE CIRCUITS (3)	3,000 W	220 OUTLET	3,000 W
RANGE	5,500 W	WATER HEATER	3,000 W
DISHWASHER	1,500 W		
DISPOSAL	800 W		
DRYER	5,000 W		
WASHER	1,500 W		
220 OUTLET	3,000 W		
SUB-PANEL	13,000 W		
TOTAL	44,089 W	TOTAL	10,500 W
1ST 10,000 W = 100%	10,000 W	1ST 10,000 W = 100%	10,000 W
BALANCE = 40%	13,636 W	BALANCE = 40%	2,000 W
A/C UNIT #	10,000 W	(1) A/C UNIT	3,000 W
TOTAL	33,636 W	TOTAL	13,000 W
33,636 / 240 =	140.2 AMPS	13,000 / 240 =	54.2 AMPS
EXISTING PANEL: 200 AMP		ELECTRICAL PANEL: 80 AMP	
ADDED LOAD PLUS THE EXISTING SHALL NOT EXCEED THE CAPACITY OF THE SERVICE			

## ELECTRICAL RISER DIAGRAM



## SUB-PANEL 'A'

OR	DESCRIPTION	BRK	WIRE
1	SPECIALTY REPT	30	10-3
2	BENCH GFCI REPT	20	12-2
3	BENCH GFCI REPT	20	12-2
4	BENCH GFCI REPT	20	12-2
5	LIGHTS	20	12-2
6	EFFI REC.	20	12-2
7	TRAP REIS	20	12-2
8			
9			
10			
11			
12			

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ELECTRICAL PLAN

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SHEET  
A4

OF



### Notes

Placement of condenser on roof above HVAC unit. HVAC specialist to calculate and determine adequate sizes for venting and return.

Contractor to verify.

RESIDENCE AT:  
3268 W Saguaro Ridge Dr

HVAC

REVISIONS

Ed Fuller Construction, LLC  
ROC #324859  
520-999-1109

PROJECT #	DATE	SCALE	FILENAME

SHEET  
**A5**  
OF





North / West view



South view



East view

# ROOF FRAMING NOTES

2012 INTERNATIONAL RESIDENTIAL CODE (APPLICABLE CODE & AMENDMENTS)

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL HEIGHTS BEFORE THE START OF CONSTRUCTION.
2. BEAMS AND POSTS TO BE #2 DOUGLAS FIR LARCH (NORTH) OR BETTER. RAFTERS AND JOIST TO BE #2 DOUGLAS FIR LARCH (NORTH) OR BETTER. STUDS AND PLATES TO BE #2 EXTERIOR STUD GRADE OR BETTER. INTERIOR AND EXTERIOR BEARING SILL TO BE PRESSURE TREATED. ALL LUMBER SHALL BE IDENTIFIED BY A GRADE MARK OF A LUMBER GRADING OR INSPECTION AGENCY (SECT. R6-02.1).
3. EXTERIOR STUD WALLS AND MAIN CROSS PARTITIONS SHALL BE BRACED AT EVERY END AND AT LEAST EVERY 20 FEET OF LENGTH W/ 1/4 DIAGONAL LET-IN BRACING OR ITS EQUIVALENT, UNLESS STRUCTURAL SHEATHING IS APPLIED.
4. EXPOSED EAVES AND OTHER WEATHER EXPOSED AREAS TO BE SHEATHED WITH EXTERIOR GRADE PLYWOOD.
5. NAILING OR STAPLES SHALL BE COMPLIANT W/ TABLE R6-02.3(3).
6. PROVIDE CLIPS AND 1/2" CLEARANCE BETWEEN TOP PLATE OF NONBEARING WALLS AND BOTTOM OF JOISTS.
7. TRUSS LAYOUT TO CORRESPOND TO FOUNDATION PLAN.
8. ALL POST AND BEAM CONNECTIONS TO USE SIMPSON POST CAPS, TYPICAL (UNO.). PROVIDE METAL FRAMING ANCHOR CONNECTORS AT TOP AND BOTTOM OF EVERY STUD (SECT. R6-02.3). FOR MISCELLANEOUS CONNECTIONS SEE TABLE R6-02.3(1).
9. PROVIDE ALL REQUIRED NAILERS FOR GYP. BD.
10. ALL CONNECTORS FOR WOOD CONSTRUCTION NOTED ON THE DRAWINGS SHALL BE SIMPSON 'STRONG TIE' OR EQUAL. FILL ALL NAIL HOLES IN SIMPSON 'STRONG TIE' CONNECTORS (UNO.).
11. EXTERIOR WALL SHEATHING: 1/2" T-11 S SHEATHING (OR EQUAL - APA RATED) 1/8" x 3/4" MIN SELF TAPPING WAFER SCREWS AT 6" AT EDGES AND 12" ON CENTER AT INTERMEDIATE SUPPORTS (UNO.).
12. FIRE-BLOCKING: FIRE STOPS SHALL BE PLACED AT ALL CONCEALED WALLS, CEILING LEVELS AND FURRING SPACES SO THAT NO CONCEALED SPACE EXCEEDS TEN FOOT. (SECT. R6-02.1)
13. PRE-MANUFACTURED TRUSS CALCULATIONS AND SPECIFICATIONS MUST BE SIGNED BY AND ARIZONA REGISTERED ENGINEER AND ARE APPROVED BY BUILDING CODES DIVISION PRIOR TO INSTALLATION. THE TRUSS DRAWINGS WILL BE A DEFERRED SUBMITTAL. THE TRUSS SHALL NOT BE INSTALLED UNTIL DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL (WHERE APPLICABLE).
14. PROVIDE TRUSS CLIPS AND 1/2" CLEARANCE BETWEEN TOP PLATE OF NONBEARING WALLS AND BOTTOM OF TRUSSES.
15. ROOF SHEATHING: 1/2" OSB (OR EQUAL) NAILED W/ 8d NAILS OR 16 GA STAPLES @ 6" O.C. AT ALL SUPPORTED EDGES, BLOCKING, AND BEAMS AND 12" O.C. AT INTERMEDIATE SUPPORTS.

## ELEVATIONS/SECTION KEYNOTES

ALL ELEVATIONS ARE IN REFERENCE TO MAIN F.F.E. @ 0'-0".  
 CONTRACTOR TO CONFIRM ALL FINISHED GRADES PRIOR TO THE START OF CONSTRUCTION.  
 CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO BIDDING AND START OF CONSTRUCTION.

- A. EXTERIOR WALLS - T-11 SHEATHING AND 1 LAYER 15 VAPOR BARRIER OVER 2x6 S @ 16" O.C.
- B. BRACED WALL PANEL - SEE ROOF FRAMING PLAN.
- C. ROOFING OVER MIN 1/2" PLYD. (OSB) ROOF SHEATHING ON WD. TRUSSES @ 24" O.C.
- D. DOOR UNIT PER PLAN.
- E. WINDOW UNIT PER PLAN.
- F. FINISHED GRADE - PROVISIONS TO BE MADE TO SLOPE WATER AWAY FROM BUILDING & FOOTINGS.
- G. 1'-0"x1'-4" GABLE-END LOWERED VENT.
- H. 3'-0" x 4'-0" x 4" THICK CONCRETE STOOP - CENTER W/ DOOR.
- J. 5" CONC. SLAB PER PLAN WITH MONO FOUR FOOTING PER DTLS.

NOTE: THESE PLANS ARE APPROVED FOR CONSTRUCTION AND FINAL BIDDING AS APPROVED BY BUILDING OFFICIALS ONLY. IF PLANS ARE NOT APPROVED AND STAMPED BY BUILDING OFFICIALS, THEY MAY NOT BE USED FOR CONSTRUCTION AND/OR FINAL BIDDING. THE DESIGNER IS NOT LIABLE IF UNAUTHORIZED PLANS ARE USED FOR CONSTRUCTION AND/OR FINAL BIDDING.

RESIDENCE AT:  
 3268 W Saguaro Ridge Dr

Elevations

Fuller Const.  
 520-999-1109  
 ROC # 324859

PROJECT #	DATE
DRAWN BY	DATE
SCALE	1/4" = 1'-0"



**5 ROOF RAFTER TO TOP PL**  
SCALE: 1" = 7'-0"

3 PLY BALROOFING OVER MIN 5/8" PLYUD. (OSB) ROOF SHEATHING ON ENGINEERED RAFTERS #24" O.C.  
2X4 EXTENDED RAFTER ATTACHED TO ROOF RAFTERS #24" O.C.  
EDGE NAILING, TYP.  
GALV. METAL DRIP EDGE BY ROOFER  
2x - WOOD BLOCKING  
2x FASCIA BD.  
1/2" GYP. BD.  
2 - 2x TOP PLATE W/ H2.5 # EACH TRUSS AND STUD  
ONE KOTE STUCCO PER PLAN

**1 EXTERIOR WALL FOOTING**  
SCALE: 1" = 7'-0"

1/2" GYP. BD.  
H2.5 # EA. STUD TO PLATE  
2X TREATED PL. W/ 1/2" x 10" ANCHOR BOLT # 32" O.C. - TYP. (UNDO. ON SHEAR WALL SCHEDULE)  
4" THICK CONCRETE W/ 6X6X10 GA. W/WF. OVER MIN 4" COMPACTED AGGREGATE BASE COURSE  
ONE-KOTE STUCCO SYSTEM (FIBERGLASS ADDITIVE) W/ STUCCO WIRE, 1" FOAM BOARD, 3/8" OSB SHEATHING THROUGHOUT OVER 2X6 S # 16" O.C. W/ 1- LAYER BLACK STUCCO PAPER VAPOR BARRIER W/ CONCEALED FOAM INSULATION  
DEEP SCREED  
FINISHED GRADE  
6" MIN.  
12" MIN.  
3" PER PLAN  
#4 CONTINUOUS

**6 JOIST @ INTER NON-BEARING WALL**  
SCALE: 1" = 7'-0"

8d # 6" O.C.  
(7) 16d NAILS AND SIMPSON A35 TO BOTTOM CHORD AT EACH 2x4  
WOOD JOIST PER PLAN  
2x4 PLAT # 24" O.C. W/ (4) 16d NAILS TO TOP PLATE  
2 - 2x TOP PLATE W/ H2.5 # EACH TRUSS AND STUD  
GYP. BD. CEILING PER PLAN  
2x STUDS # 24" O.C. (UNDO) PER PLAN W/ 1/2" GYP. BD. ON BOTH SIDES OF WALL - TYP.

**2 GARAGE DOOR ENTRY**  
SCALE: 1" = 7'-0"

5" THICK CONCRETE W/ 6X6X10 GA. W/WF. OVER MIN 4" COMPACTED AGGREGATE BASE COURSE  
12"  
16" MIN.  
3" PER PLAN  
#4 CONTINUOUS  
DRIVEWAY PAVING MATERIAL AS SELECTED BY OWNER

**7 BRACEWALL HOLDDOWN**  
SCALE: 1" = 7'-0"

WALL CHORD MEMBER  
16" MAX.  
2x FACE STUD  
BOLTS IN HOLDDOWN PER SIMPSON  
ANCHOR BOLT  
OPTIONAL SIMPSON HDSS HOLDDOWN  
SIMPSON STDHD HOLDDOWN  
2x BOTTOM PLATE  
CONT. HORIZ. REIN.  
2 - #4 VERT. DOUELS TO FOOTING AT EACH HOLDDOWN LOCATION  
INCREASE FOOTING DEPTH AS REQUIRED FOR FULL EMBEDMENT

**3 SLAB @ DOOR**  
SCALE: 1" = 7'-0"

DOOR / WINDOW UNIT PER PLAN # PER OWNER SPECIFICATIONS  
5" THICK CONCRETE W/ 6X6X10 GA. W/WF. OVER MIN 4" COMPACTED AGGREGATE BASE COURSE  
EXTERIOR WALL BEYOND  
TOOLED EDGE  
EXT. CONC. SLAB / STOOP  
4' 8"

**4 8" TOE-DOWN**  
SCALE: 1" = 7'-0"

4" THICK CONCRETE W/ 6X6X10 GA. W/WF. OVER MIN 4" COMPACTED AGGREGATE BASE COURSE  
TOOLED EDGE  
2 - #4's CONTINUOUS  
4' 8"

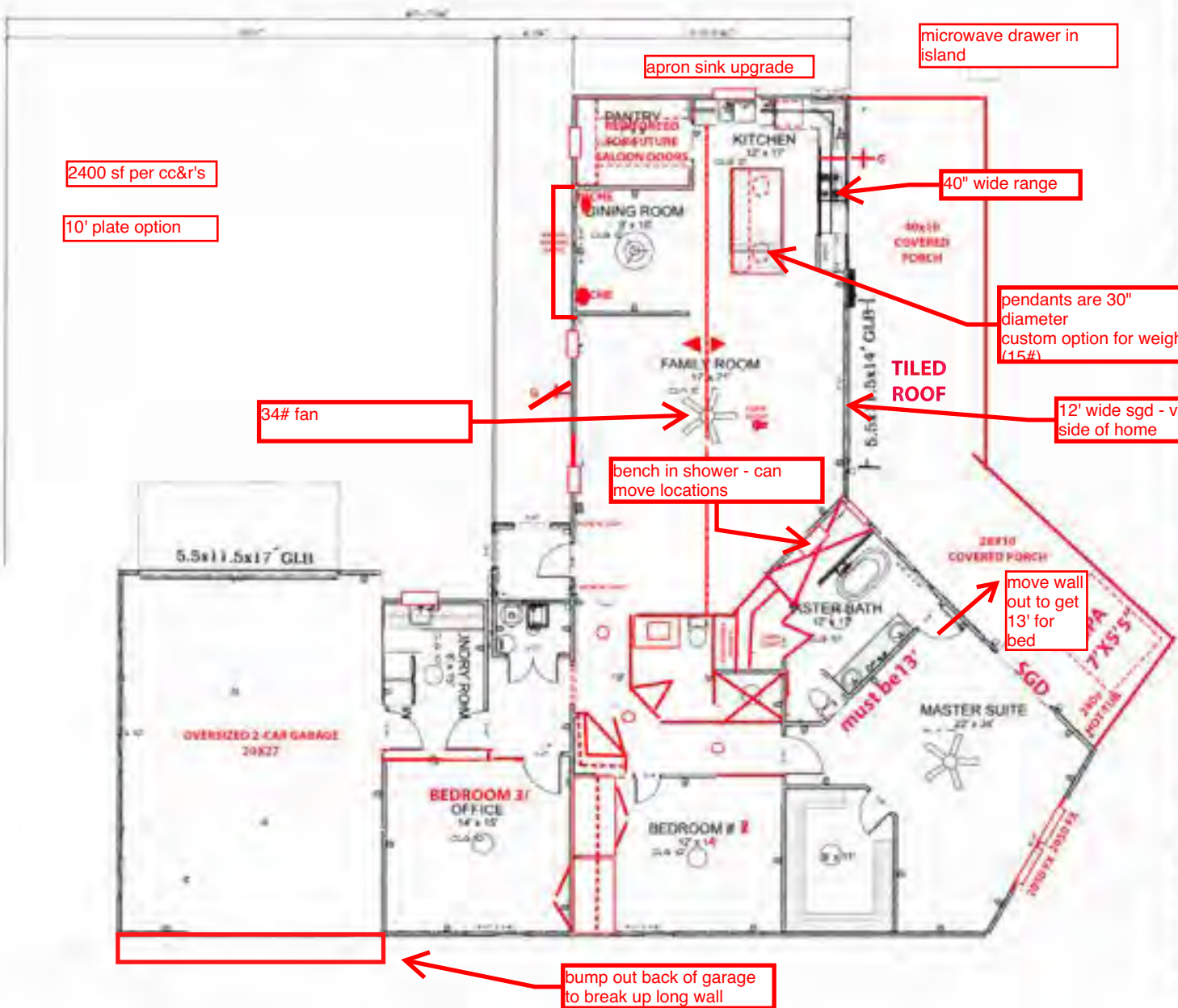
## DETAILS

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OF





FLOOR PLAN GENERAL NOTES	
SEE ASSOCIATIONAL MEMORANDUM, CODE	
1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT & OBTAIN WRITTEN PERMISSIONS & APPROVALS.	
2. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT & OBTAIN WRITTEN PERMISSIONS & APPROVALS.	
3. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING FOUNDATIONS BEFORE CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT & OBTAIN WRITTEN PERMISSIONS & APPROVALS.	
4. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING ROOFS BEFORE CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT & OBTAIN WRITTEN PERMISSIONS & APPROVALS.	
5. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING WALLS BEFORE CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT & OBTAIN WRITTEN PERMISSIONS & APPROVALS.	
6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING FLOORS BEFORE CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT & OBTAIN WRITTEN PERMISSIONS & APPROVALS.	
7. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING CEILINGS BEFORE CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT & OBTAIN WRITTEN PERMISSIONS & APPROVALS.	
8. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING DOORS BEFORE CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT & OBTAIN WRITTEN PERMISSIONS & APPROVALS.	
9. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING WINDOWS BEFORE CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT & OBTAIN WRITTEN PERMISSIONS & APPROVALS.	
10. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING STAIRS BEFORE CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT & OBTAIN WRITTEN PERMISSIONS & APPROVALS.	
11. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING ELEVATORS BEFORE CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT & OBTAIN WRITTEN PERMISSIONS & APPROVALS.	
12. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING MECHANICAL EQUIPMENT BEFORE CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT & OBTAIN WRITTEN PERMISSIONS & APPROVALS.	
13. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING ELECTRICAL EQUIPMENT BEFORE CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT & OBTAIN WRITTEN PERMISSIONS & APPROVALS.	
14. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING PLUMBING EQUIPMENT BEFORE CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT & OBTAIN WRITTEN PERMISSIONS & APPROVALS.	
15. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING FIRE PROTECTION EQUIPMENT BEFORE CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT & OBTAIN WRITTEN PERMISSIONS & APPROVALS.	
16. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SECURITY EQUIPMENT BEFORE CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT & OBTAIN WRITTEN PERMISSIONS & APPROVALS.	
17. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING ACCESSIBILITY EQUIPMENT BEFORE CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT & OBTAIN WRITTEN PERMISSIONS & APPROVALS.	
18. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SUSTAINABILITY EQUIPMENT BEFORE CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT & OBTAIN WRITTEN PERMISSIONS & APPROVALS.	
19. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING WELLNESS EQUIPMENT BEFORE CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT & OBTAIN WRITTEN PERMISSIONS & APPROVALS.	
20. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING TECHNOLOGY EQUIPMENT BEFORE CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT & OBTAIN WRITTEN PERMISSIONS & APPROVALS.	
DOOR SCHEDULE	
21. DOOR SCHEDULE	
22. DOOR SCHEDULE	
BUILDING AREA CALCULATION	
4,300.91 sqft	
FOUNDATION NOTES	
23. FOUNDATION NOTES	
24. FOUNDATION NOTES	
25. FOUNDATION NOTES	
26. FOUNDATION NOTES	
27. FOUNDATION NOTES	
28. FOUNDATION NOTES	
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45. FOUNDATION SCHEDULE	
46. FOUNDATION SCHEDULE	
47. FOUNDATION SCHEDULE	
48. FOUNDATION SCHEDULE	
49. FOUNDATION SCHEDULE	
50. FOUNDATION SCHEDULE	

RESIDENCE AT:  
3268 W. Saginaw Ridge Dr

FLOOR PLAN  
FOUNDATION PLAN

Ed Fuller Construction  
ROC # 324859  
(520) 999-1109

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